City of Jasper
Fire Station Addition

ISSUE FOR CONSTRUCTION

277 Burton Street - Jasper, Georgia 30143

APPLICABLE CODES AND AMENDMENTS

CODE	EDITION	AMENDMENTS
• INTERNATIONAL BUILDING CODE	2018	2020, 2022
• INTERNATIONAL FIRE CODE	2018 *	-
• INTERNATIONAL PLUMBING CODE	2018	2020, 2022
• INTERNATIONAL MECHANICAL CODE	2018	2020
• INTERNATIONAL FUEL GAS CODE	2018	2020, 2022
• NATIONAL ELECTRIC CODE	2020	2021
• INTERNATIONAL ENERGY CONSERVATION CODE	2015	2020, 2022
• NFPA 101, LIFE SAFETY CODE	2018 *	
• ADA STANDARDS FOR ACCESSIBLE DESIGN	2010	

* IN ADDITION, SEE RULES AND REGULATIONS OF THE SAFETY FIRE COMMISSIONER, CHAPTER 120-3-3, RULES AND REGULATIONS FOR THE STATE MINIMUM FIRE SAFETY STANDARDS.

LIFE SAFETY CODE SUMMARY

CONSTRUCTION TYPE: **VB** *(TABLE 601, IBC 2018)*
0hr PRIMARY STRUCTURAL FRAME
0hr EXTERIOR BEARING WALL
0hr INTERIOR BEARING WALL
0hr EXTERIOR NON-BEARING WALL
0hr INTERIOR NON-BEARING WALL
0hr FLOOR CONSTRUCTION
0hr ROOF CONSTRUCTION

OCCUPANCY CLASSIFICATION.: MIXED, NON SEPARATED
BUSINESS (B)/ LODGING OR ROOMING HOUSE (R-3)/ STORAGE, ORDINARY HAZARD (S-1)
(SEC 6.1.14.3, 6.1.11, 6.1.13, 6.1.8.1.2 NFPA 101 2018, SEC 304, 310, 311 IBC 2018)

ALLOWABLE AREA/HEIGHT: **9,000sf AREA / 40' HEIGHT / 1 STORY**
(TABLE 504.3, 504.4 AND 506.2, IBC 2018)

ACTUAL BUILDING AREA: 4,807 SF (EXISTING)
620 SF (ADDITION)
5,427 SF TOTAL

ACTUAL BUILDING HEIGHT: **+/- 20'-0" A.F.F./ 1 STORY**

OCCUPANCY COUNT:
LODGING & ROOMING HOUSE 1,195sf = 10 OCCUPANTS
(RESIDENTIAL USE, 200sf/PERSON)
BUSINESS USE MULTIPURPOSE ROOM 234sf = 8 OCCUPANTS
(COLLABORATION RM <450sf, 30sf/PERSON)
BUSINESS USE OFFICES 943sf = 7 OCCUPANTS
(BUSINESS USE, 150sf/PERSON)
APPARATUS BAY 3,055sf = 7 OCCUPANTS
(STORAGE NON M USE, 500sf/PERSON)
TOTAL OCCUPANCY COUNT = 32 PEOPLE
(TABLE 7.3.1.2; NFPA 101 2018)

FIRE PROTECTION REQ'D: NO *(SEC 38, NFPA 101 2018)*
FIRE PROTECTION PROVIDED: NO

#EXITS REQ'D: 1 EXITS
#EXITS PROVIDED: 1 EXITS

TRAVEL DISTANCE: 200' *(SEC 38.2.6.2, NFPA 101 2018)*
MAX TRAVEL DISTANCE PROVIDED: 173'-0"

BUILDING ENVELOPE REQUIREMENTS

AS REQUIRED BY THE 2015 INTERNATIONAL ENERGY CONVERSATION CODE - CLIMATE ZONE 4A

LOCATION	MINIMUM R-VALUES
ROOF - ATTIC INSULATION	R-38
WALLS - WOOD FRAMED	R-20
FLOORS - SLAB ON GRADE	R-10 for 24" below
GLAZING - 1" INS. GLASS IN ALUM FRM	U-FACTOR: .38; SHGC: .4
ENTRANCE DOORS	U-FACTOR: .77;

ci= CONTINUOUS INSULATIION

SCOPE OF WORK

620sf, 1-STORY ADDITION TO EXISTING 4,807sf, 1-STORY FIRE STATION. ADDITION TO INCLUDE PUBLIC RECEPTION AREA, 2 OFFICES, A RESTROOM, & MECHANICAL ROOM. MINOR RENOVATION TO THE EXISTING BUILDING. OVERALL SCOPE OF WORK INVOLVES THE FOLLOWING TRADES/ACTIVITY:

- EXISTING BUILDING RENOVATION SCOPE:
  1. NEW EXHAUST SYSTEM FOR EXISTING (5) BAY APPARATUS GARAGE.
- ADDITION SCOPE OF WORK:
  1. NEW SLAB, EXTERIOR WOOD STUD BEARING WALLS & WOOD TRUSS ROOF STRUCTURE
  2. INTERIOR NON-BEARING WALLS & FINISHES
  3. HVAC SYSTEM
  4. LIGHTING/ELECTRICAL
  5. PLUMBING
  6. EXTERIOR STAIR & RAMP TO ACCESS BUILDING.
  7. MINIMAL SITEWORK INCLUDING LANDSCAPING, FLAGPOLE, & PARKING AREA STRIPING.

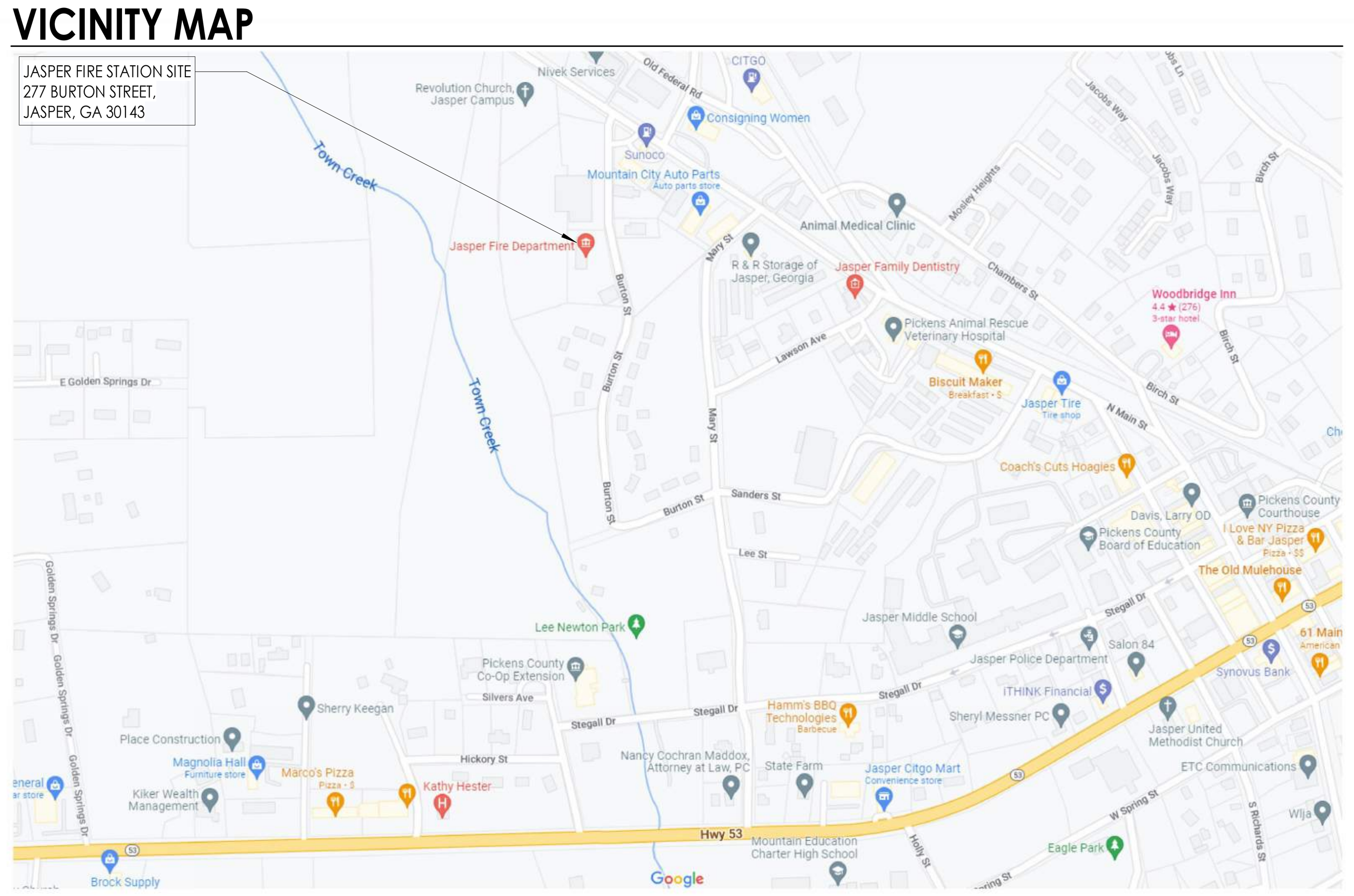
LIST OF BID ALTERNATES

BIDDERS TO PROVIDE PRICING FOR THE FOLLOWING LIST OF ALTERNATES BEYOND THE BASE BID SCOPE OF WORK DESCRIBED IN THESE CONSTRUCTION DOCUMENTS. WORK DESCRIBED IN THIS LIST MAY ADD TO OR DEDUCT FROM THE BASE BID PRICE. BIDDERS SHALL TAKE INTO ACCOUNT ALL TRADES REQUIRED TO COMPLETE THE ALTERNATE ITEM AND INCLUDE COMPLETE PRICING. ON THE OWNER'S BID FORM, PRICING FOR EACH OF THE NUMBERED ITEMS LISTED BELOW SHALL BE INDICATED INDIVIDUALLY

1. GC TO PROVIDE BID ALTERNATE FOR SCREW DOWN METAL ROOF TO BE USED ON THE ADDITION EQ. TO: MBCI PBR PRODUCT. SIGNATURE 200 FINISH, 24 GA., COLOR TO MATCH EXISTING BUILDING COLORS. MINIMUM 30 YEAR WARRANTY.
2. GC TO PROVIDE BID ALTERNATE FOR CUT METAL JASPER FIRE DEPARTMENT EMBLEM TO BE INSTALLED IN RAMP HANDRAIL AS SHOWN ON THE COVERSHEET RENDERING. THE EMBLEM IS TO BE RECEIVE POWDER COATED FINISH TO MATCH ADJACENT HANDRAIL & BE PERMANENTLY ATTACHED.

DRAWING LIST

VICINITY MAP



PROJECT ABBREVIATIONS

A	
AFF	ABOVE FINISHED FLOOR
AP	ACCESS PANEL
ACOUS	ACOUSTICAL
ACT	ACOUSTICAL CEILING TILE
AWP	ACOUSTICAL WALL PANEL
ADJ	ADJACENT
A/C	AIR CONDITIONING
ALT	ALTERNATE
ALUM	ALUMINUM
AB	ANCHOR BOLT
ANOD	ANODIZED
APPROX	APPROXIMATE
ARCH	ARCHITECT, ARCHITECTURAL
AD	AREA DRAIN
ACM	ASBESTOS CONTAINING MATERIAL
@	AT
AUTO	AUTOMATIC
B	
BP	BEARING PLATE
BM	BENCH MARK
BITUM	BITUMINOUS
BLK	BLOCK
BLKG	BLOCKING
BD	BOARD
BOT	BOTTOM
BRK	BRICK
BLDG	BUILDING
BN	BULLNOSE
C	
CAB	CABINET
CI	CAST IRON
CB	CATCH BASIN OR CHALK BOARD
CLG	CEILING
CLG HT	CEILING HEIGHT
CL	CENTER LINE
CER	CERAMIC

CIRC	CIRCUMFERENCE
CO	CLEAN OUT
CLR	CLEAR
COL	COLUMN
CONC	CONCRETE
CMU	CONCRETE MASONRY UNIT
CONST	CONSTRUCTION
CJT	CONSTRUCTION JOINT
CONT	CONTINUOUS
CONTR	CONTRACTOR
CJ	CONTROL JOINT
D	
DP	DAMP PROOFING
DEMO	DEMOLISH
DEPT	DEPARTMENT
DET,DTL	DETAIL
DIA	DIAMETER
DIM	DIMENSION
DISP	DISPENSER
DSP	DISPOSAL
DO	DITTO, REPEAT, SAME
DR	DOOR
DBL	DOUBLE
DN	DOWN
DS	DOWNSPOUT
DT	DRAIN TILE
DWR	DRAWER
DWG	DRAWING
DF	DRINKING FOUNTAIN
E	
EA	EACH
EF	EACH FACE
EW	EACH WAY
E	EAST
ELEC	ELECTRICAL
ELEV	ELEVATION
EL	ELEVATOR

EMER	EMERGENCY
ENCL	ENCLOSURE
ENTR	ENTRANCE
EQ	EQUAL
EQUIP	EQUIPMENT
EST	ESTIMATE(D)
EXHST	EXHAUST
EXIST	EXISTING
EXP	EXPANSION
EJ	EXPANSION JOINT
F	
FAB	FABRICATE
FOS	FACE OF STUD
FOW	FACE OF WALL
FT	FEET
FIN	FINISH
FF	FINISH FLOOR
FEC	FIRE EXTINGUISHER CABINET
FH	FIRE HOSE
FL,FLR	FLOOR
FD	FLOOR DRAIN
FTG	FOOTING
FND	FOUNDATION
FUT	FUTURE
G	
GALV	GALVANIZED
G	GAS
GA	GAUGE
GEN	GENERAL
GC	GENERAL CONTRACTOR
GL	GLASS, GLAZING
GB	GRAB BAR
GR	GRADE, GRADING
GSF	GROSS SQUARE FOOT
GYP	GYPSUM
GYP BD	GYPSUM BD
GWB	GYPSUM WALL BOARD

H	
HDWR	HARDWARE
HDWD	HARDWOOD
HVAC	HEATING, VENTILATING & AIR CONDITIONING
HT, HGT	HEIGHT
HEX	HEXAGONAL
HWY	HIGHWAY
HM	HOLLOW METAL
HORZ	HORIZONTAL
HB	HOSE BIBB
HW	HOT WATER
HR	HOUR
I	
IN	INCH
INCL	INCLUDING
ID	INSIDE DIAMETER
INSUL	INSULATION
INT	INTERIOR
INTERM	INTERMEDIATE
INV	INVERT
J	
JAN	JANITOR
JS	JANITOR SINK
JT	JOINT
K	
KIT	KITCHEN
L	
LBL	LABEL
LAB	LABORATORY
LAM	LAMINATE(D)
LAV	LAVATORY
LYR	LAYER
LDR	LEADER
LH	LEFT HAND
LIB	LIBRARY
LT	LIGHT

LW	LIGHT WEIGHT
M	
MACH	MACHINE
MH	MAN HOLE
MHC	MAN HOLE COVER
MFR	MANUFACTURE
MFRR	MANUFACTURER
MAS	MASONRY
MO	MASONRY OPENING
MAT	MATERIALS
MAX	MAXIMUM
MECH	MECHANICAL
MET	METAL
MTL	METAL
M	METER
MEZZ	MEZZANINE
MIN	MINIMUM
MISC	MISCELLANEOUS
MR	MOISTURE RESISTANT
MTD	MOUNTED
N	
NAT	NATURAL
NRC	NOISE REDUCTION COEFFICIENT
NOM	NOMINAL
N	NORTH
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
NO, #	NUMBER
O	
OC	ON CENTER
OPNG	OPENING
OD	OUTSIDE DIAMETER
OH	OVERHEAD
P	
PT	PAINT(ED)
PR	PAIR
PTR	PAPER TOWEL RECEPTOR

PART BD	PARTICLE BOARD
PART	PARTITION
PVMT	PAVEMENT
PL	PLATE
PLBG	PLUMBING
PLYWD	PLYWOOD
PVC	POLYVINYL CHLORIDE
PC CONC	PRECAST CONCRETE
PRE FAB	PREFABRICATED
PEJ	PREFORMED EXPANSION JOINT
PT	PRESSURE TREATED
PL	PROPERTY LINE
Q	
QTY	QUANTITY
R	
RAD	RADIUS
R.S.	RAIN SCREEN (WALL)
RECP	RECEPTACLE
RE:	REFER TO
REF	REFERENCE
REINF	REINFORCED(ING)
REQ'D	REQUIRED
REV	REVISED
RH	RIGHT HAND
R	RISER
RD	ROOF DRAIN
RM	ROOM
RO	ROUGH OPENING
S	
SAN	SANITARY
SCHED	SCHEDULE
SEC	SECOND
SECT	SECTION
SIM	SIMILAR
SSM	SOLID SURFACE MATERIAL
STC	SOUND TRANSMISSION COEFFICIENT

SPEC	SPECIFICATION
SQ	SQUARE
SS	STAINLESS STEEL
STD	STANDARD
STL	STEEL
STOR	STORAGE
ST STL	STRUCTURAL STEEL
STRUCT	STRUCTURE, STRUCTURAL
SUSP	SUSPENDED
SAT	SUSPENDED ACOUSTICAL TILE
T	
TEL	TELEPHONE
TEMP	TEMPERATURE
THK	THICKNESS
TPD	TOILET PAPER DISPENSER
TOS	TOP OF SLAB/STEEL
TOW	TOP OF WALL
TYP	TYPICAL
U	
UNFIN	UNFINISHED
UNO	UNLESS NOTED OTHERWISE
U	URINAL
V	
VEN	VENEER
VIF	VERIFY IN FIELD
VEST	VESTIBULE
VOL	VOLUME
W	
WC	WATER CLOSET
WRB	WEATHER RESISTIVE BARRIER
WWF	WELDED WIRE FABRIC
WWM	WELDED WIRE MESH
W	WEST
WIND	WINDOW
W/	WITH
W/O	WITHOUT
WD	WOOD

OWNER

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PROJECT INFORMATION

Project Number
16526.00

Client Name
City of Jasper

Project Name
Fire Station Addition

Project Address
277 Burton Street - Jasper, Georgia 30143

PROJECT ISSUE & REVISION SCHEDULE

vv Date Description

PROFESSIONAL STAMPS

STATE OF GEORGIA
KENNETH SCOTT GORDON
6/30/22
CERTIFICATE NO. 10209
REGISTERED ARCHITECT

SHEET INFORMATION

Issued: 07/01/22
Scale: As indicated
Project Status: ISSUE FOR CONSTRUCTION
Drawn By: CPL
Checked By: CPL
Drawing Title: COVER
Drawing Number: G000

OVERALL EXISTING/DEMOLITION SITEPLAN

1 A001 — 1/8" = 1'-0" — NORTH

SITE DEMOLITION GENERAL NOTES

1. **EXISTING UTILITIES**: INFORMATION REGARDING THE PRESENCE, SIZE, CHARACTER AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES SHOWN HEREON IS BASED ON INFORMATION READILY AVAILABLE AT THE TIME OF PREPARATION. THERE IS NO CERTAINTY (BY THE ARCHITECT OR OWNER) OF THE ACCURACY OF THIS INFORMATION AND IT SHALL BE TAKEN INTO CONSIDERATION BY THOSE USING THIS DOCUMENT. THE LOCATION AND DISPOSITION OF UTILITIES SHOWN MAY BE INACCURATE AND UTILITIES AND STRUCTURES NOT SHOWN MAY BE ENCOUNTERED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES AFFECTED BY HIS WORK PRIOR TO BEGINNING ANY CONSTRUCTION OR LAND DISTURBANCE.
2. THE UTILITIES SHOWN HERE HAVE BEEN LOCATED IN AN APPROXIMATE WAY. THE CONTRACTOR IS RESPONSIBLE FOR HAVING ALL UTILITIES MARKED AND SHALL CONTACT THE UTILITY PROTECTION CENTER AT 811; AND SHALL VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES; AND SHALL BE SOLELY RESPONSIBLE FOR ANY AND ALL DAMAGES OCCASIONED DUE TO FAILURE TO VERIFY THE LOCATION OF OR FULLY PROTECT UTILITIES.
3. THE ARCHITECT AND OWNER DO NOT GUARANTEE ALL EXISTING UTILITIES ARE ILLUSTRATED ON THESE PLANS. THE CONTRACTOR SHALL LOCATE AND VERIFY ALL HORIZONTAL AND VERTICAL LOCATION OF EXISTING UTILITIES.
4. PROTECT ALL UTILITIES FROM DAMAGE THROUGHOUT THE DURATION OF THE PROJECT AND REPAIR ANY AND ALL DAMAGE TO EXISTING UTILITIES CAUSED BY CONSTRUCTION OPERATIONS. AT ANY POINT SHOULD THE CONTRACTOR NEED TO SHUT OFF A UTILITY FOR REPAIR OR MODIFICATION, CONTRACTOR MUST COORDINATE WITH OWNER FOR THIS REQUEST PRIOR TO PERFORMING ANY WORK OR SHUTTING OFF A UTILITY. BECAUSE OF THE CRITICAL NATURE OF THE FACILITY AND ALL UTILITIES SERVING IT, EXTRA CARE MUST BE TAKEN NOT TO INTERRUPT UTILITY SERVICES WITHOUT PROPER PLANNING WITH THE OWNER.
5. PROTECT ALL ITEMS OUTSIDE LIMITS OF CONSTRUCTION OR AS SHOWN ON THIS PLAN INCLUDING, BUT NOT LIMITED TO EXISTING SIDEWALKS, BUILDINGS, UNDERGROUND UTILITIES, ABOVE GROUND UTILITIES, CURB AND GUTTER. ANY DAMAGE WILL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR OR REPLACE.
6. CONTRACTOR SHALL PROVIDE FOR THE FOLLOWING: BECOME THOROUGHLY FAMILIAR WITH ALL EXISTING CONDITIONS AT THE PROJECT SITE BY ON-SITE VISITATION AND INSPECTION, REVIEW ALL PLANS, SPECIFICATIONS, FEDERAL, STATE, COUNTY, AND CITY REGULATIONS AND ORDINANCES TO FULLY ASCERTAIN THE SCOPE OF WORK ILLUSTRATED AND/OR IMPLIED WITHIN THESE PLANS.
7. RENDER THE SITE FREE OF, OR CLEARED OF, DEBRIS AND FREE OF DEMOLISHED REMNANTS AND OTHER ITEMS OR CONDITIONS WHICH MIGHT HAVE A DELETERIOUS EFFECT ON THE CONTINUED CONSTRUCTION OF THE PROJECT.
8. ERECT AND MAINTAIN SOIL EROSION CONTROL MEASURES IN ACCORDANCE w/ LOCAL & STATE REQUIREMENTS.
9. ALL EXISTING ASPHALT PAVEMENT AND CONCRETE THAT IS TO BE DEMOLISHED WILL BE DEMOLISHED AND REMOVED TO EARTH SUBGRADE. MATERIAL IS TO BE DISPOSED OF LEGALLY OFF-SITE.
10. SAWCUT SMOOTH LINE BETWEEN PORTIONS OF CONCRETE PAVING TO BE DEMOLISHED AND REMOVED AND REMAINING PORTIONS.
11. GC TO ESTABLISH ALL ONSITE STAGING LOCATIONS/SCHEDULING OF ACTIVITIES WITH THE OWNER'S INPUT TO ENSURE EMERGENCY OPERATIONS CAN OCCUR UNINTERRUPTED BY DEMOLITION/CONSTRUCTION WORK ON THE SITE THROUGHOUT THE PROJECT'S DURATION.

EXISTING/DEMO SITEPLAN GRAPHIC LEGEND

Symbol	Description
(cross-hatch)	DEMOLISH, REMOVE AND LEGALLY DISPOSE OF EXISTING CONCRETE AND ALL APPURTENANCES
(diagonal hatch)	DEMOLISH, REMOVE, AND LEGALLY DISPOSE OF EXISTING ASPHALT PAVEMENT, STONE BASE AND ALL APPURTENANCES
(diagonal hatch with wall)	EXTENTS OF (E) BUILDING FOOTPRINT. SEE A100 DWGS FOR DEMOLITION SCOPE INSIDE BUILDING.
(dashed line)	DEMOLISHED BUILDING ELEMENT. ALSO SEE DWG A100 FOR EXISTING BUILDING DEMOLITION
ST	(E) STORM SEWER (V.I.F.)
S	(E) SANITARY SEWER (V.I.F.)
UGE	(E) UNDERGROUND ELECTRICAL (V.I.F.)
O	(E) UNDERGROUND OXYGEN SUPPLY (V.I.F.)
W	(E) UNDERGROUND WATER (V.I.F.)
GW	(E) UNDERGROUND GREASE WASTE (V.I.F.)
-X'-XX" (E)FFE	SPOT ELEVATION INDICATING EXISTING FINISH SURFACE ELEVATION IN RELATIONSHIP TO (E) BUILDING SLAB (V.I.F.). EXISTING BUILDING SLAB ELEVATION =0'-0" FFE

EXISTING/DEMOLITION SITEPLAN KEY NOTES

- SD1 SAWCUT, DEMO, & LEGALLY DISPOSE OF EXIST. CONC. SLAB. EXCAVATE AS REQ'D FOR ADDITION & INDICATED SITEWORK ON A002
- SD2 VERIFY ALL UNDERGROUND UTILITIES IN THIS AREA PRIOR TO STARTING WORK. NOTIFY OWNER/ARCHITECT OF ANY CONFLICTS.
- SD3 AVOID STAGING/CONSTRUCTION ACTIVITIES IN THIS AREA.
- SD4 REMOVE EXISTING FLAGPOLE & DEMO EXISTING FOUNDATION. SALVAGE FOR REUSE IF POSSIBLE.

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THE FIRST MOUNTAIN CITY — JASPER GEORGIA — 1857

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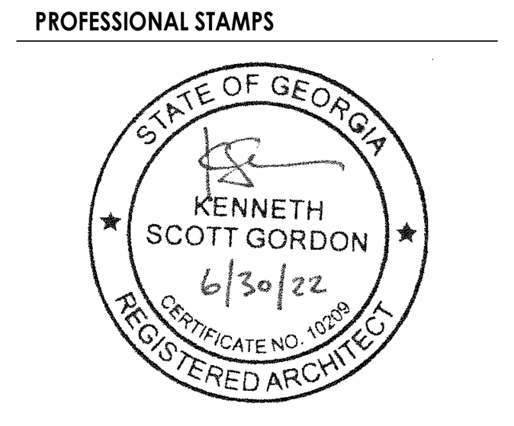
PROFESSIONAL STAMPS



SHEET INFORMATION

Issued	Scale
07/01/22	As indicated

Project Status
ISSUE FOR CONSTRUCTION

Drawn By	Checked By
CPL	CPL

Drawing Title
OVERALL EXISTING/DEMOLITION SITEPLAN

Drawing Number
A001

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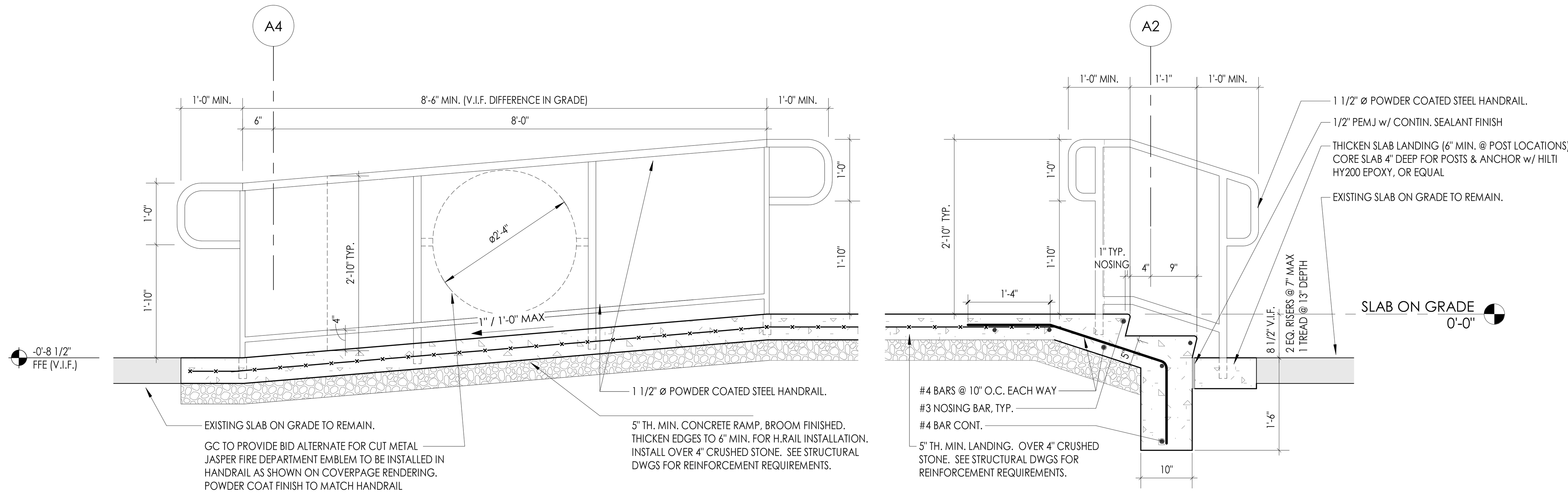
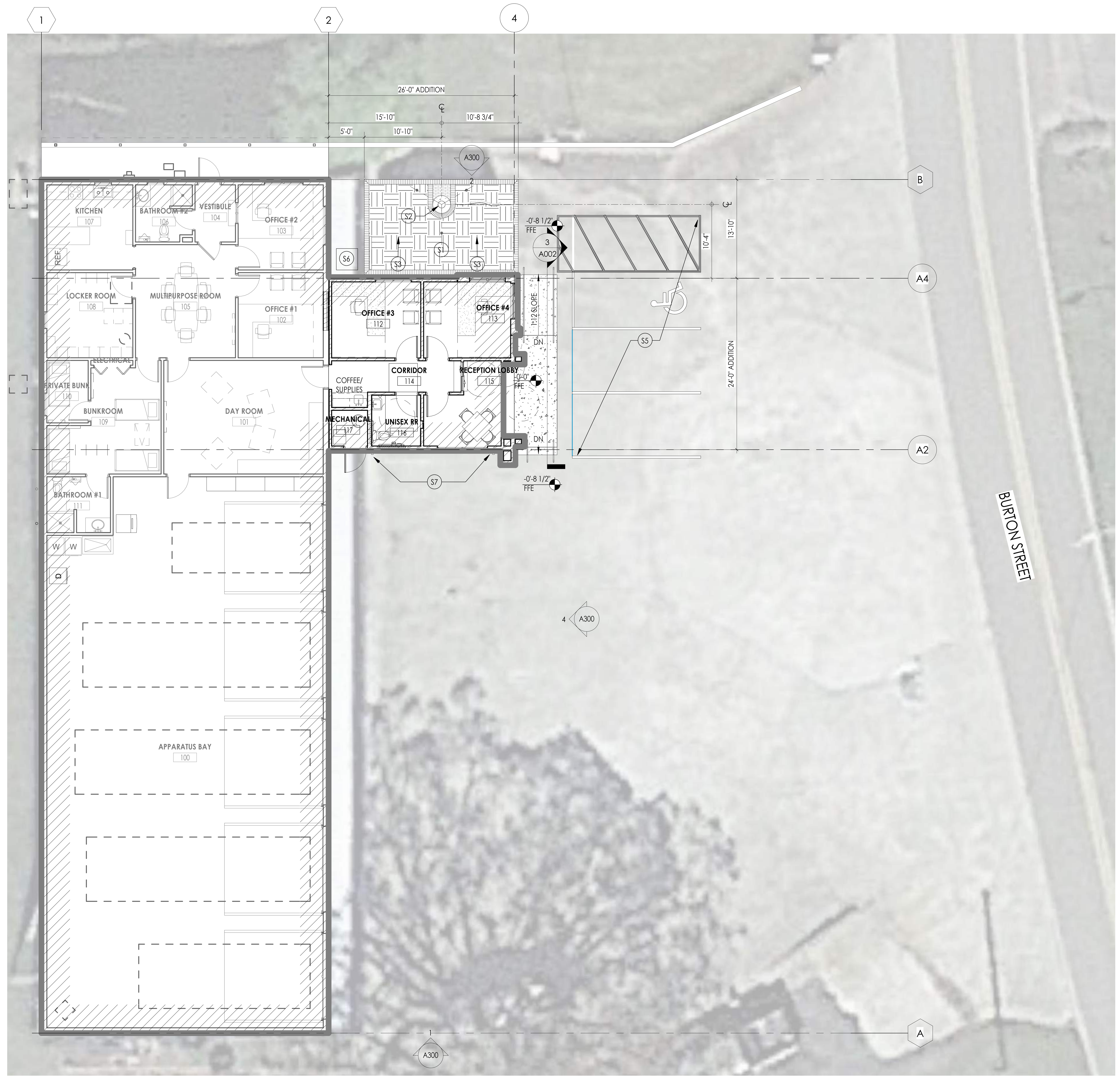


3 A002 **ENTRY STAIR/LANDING/RAMP SECTION**

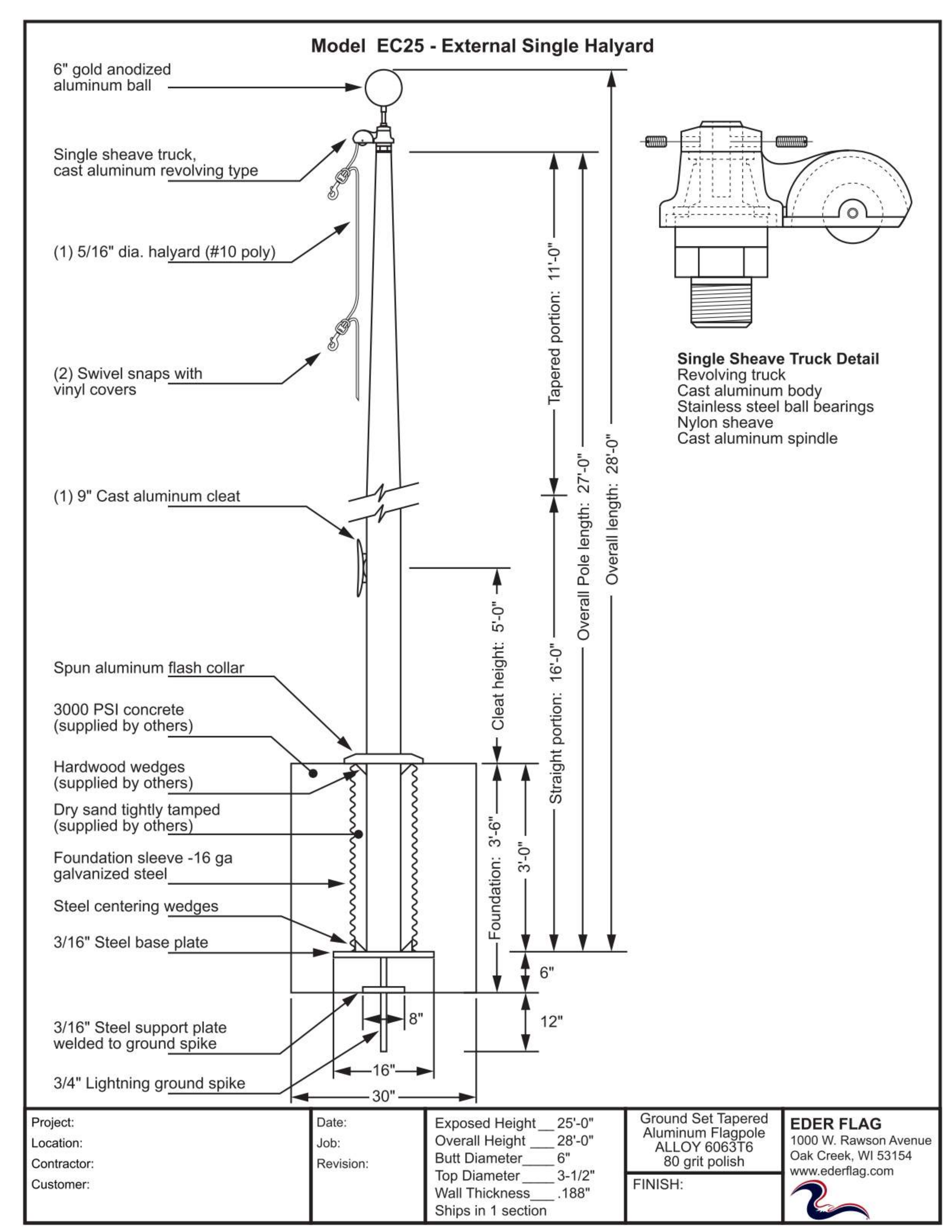
3/4" = 1'-0"



1 A002 **OVERALL PROPOSED ARCHITECTURAL SITE PLAN**

1/8" = 1'-0"

NORTH



2 A002 **FLAGPOLE DETAIL**

12" = 1'-0"

ARCHITECTURAL SITEPLAN GENERAL NOTES

1. VERIFY IN FIELD ALL BELOW GRADE UTILITY LOCATIONS PRIOR TO STARTING WORK. UTILITY LOCATIONS SHOWN ARE BASED ON PLANNING DOCUMENTS AND NOT AS-BUILT (VERIFIED) LOCATIONS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS FOR ACCURACY, AND CONFIRMING THAT THE PROJECT IS BUILDABLE AS SHOWN BEFORE PROCEEDING WITH CONSTRUCTION. IF THERE ARE ANY QUESTIONS, THE CONTRACTOR SHALL SUBMIT THEM IN WRITING TO THE ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING WRITTEN CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK IN QUESTION OR OTHER RELATED WORK.
3. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL APPLICABLE CITY, COUNTY AND STATE REGULATIONS, CODES AND O.S.H.A. STANDARDS.
4. THE SCOPE OF WORK DEFINED WITHIN THIS PLAN INCLUDES ALL GRADING OPERATIONS AND MISCELLANEOUS HAULING AND/OR DISPOSAL.
5. ALL SITE WORK CONCRETE SHALL BE MINIMUM 3,500 PSI 28 DAY STRENGTH.
6. SITE CONCRETE SCORE LINES SHALL BE EQUALLY SPACED WITHIN EACH CONCRETE PANEL, AT NO FURTHER THAN 6' MAXIMUM SPACING, AND AS CLOSE TO 4'x4' JOINTING AS POSSIBLE.
7. AS SOON AS CONCRETE HAS BEEN FLOATED LEVEL AND SMOOTH AND HAS BEGUN TO SET UP, APPLY A LIGHT BROOM FINISH IN A CONSISTENT DIRECTION PERPENDICULAR TO THE DIRECTION OF PRIMARY PEDESTRIAN TRAFFIC.
8. ALL EXPANSION JOINTS ARE 1/2" PREMOLDED BITUMINOUS ASPHALT w/ A BACKER ROD AND JOINT SEALER.
9. LIMIT CONSTRUCTION OPERATIONS TO THE PROJECT SITE AND PROTECT ADJACENT PROPERTIES AND PROPERTY OWNERS FROM ENCROACHMENT BY SOIL EROSION. EROSION, SEDIMENT, & POLLUTION CONTROL MEASURES SHALL BE ERECTED PRIOR TO ANY LAND DISTURBANCE ACTIVITY AND SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT CONSTRUCTION UNTIL PERMANENT VEGETATIVE COVER HAS BEEN ESTABLISHED. CLEAN OUT AND REMOVE ALL ACCUMULATED SILT AND SEDIMENT WHENEVER SAID DEVICES ARE HALF FULL. MAINTENANCE OF ALL EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES, WHETHER TEMPORARY OR PERMANENT, SHALL BE AT ALL TIMES THE RESPONSIBILITY OF THE CONTRACTOR AND THE OWNER.
10. ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED w/ MULCH OR TEMPORARY SEEDING IN ACCORDANCE WITH THE GUIDELINES FOR DISTURBED AREA STABILIZATION CONTAINED IN THE MANUAL FOR EROSION AND SEDIMENTATION CONTROL IN GEORGIA.
11. GC TO ESTABLISH ALL ONSITE STAGING LOCATIONS/SCHEDULING OF ACTIVITIES WITH THE OWNER'S INPUT TO ENSURE EMERGENCY OPERATIONS CAN OCCUR UNINTERRUPTED BY DEMOLITION/CONSTRUCTION WORK ON THE SITE THROUGHOUT THE PROJECT'S DURATION.

SITEPLAN GRAPHIC LEGEND

NEW CONCRETE SITEWORK. SEE NOTES/DETAILS AT EACH LOCATION. 3,500 PSI MIN. STRENGTH, BROOM FINISH

EXTENTS OF BUILDING FOOTPRINT.
SEE A200 DWG FOR PROPOSED SCOPE INSIDE BUILDING.

LANDSCAPE AREAS. SAWCUT EXISTING CONCRETE , EXCAVATE AREA AND REMOVE ALL ROCKS. PROVIDE NEW SOD & HARDWOOD MULCH PLANTING BED IN THIS AREA. GC TO INDICATE ALLOWANCE FOR LOW MAINTENANCE LANDSCAPE MATERIALS TO BE INSTALLED IN THIS AREA ON BID FORM. INCLUDE 8" WIDE PERIMETER BRICK PAVER BORDER & BRICK SURFACE @ FLAGPOLE AS SHOWN. PAVER MATERIAL TO BE EQUAL TO PINE HALL BRICK PATHWAY 4"X8"x2 1/4" UNITS, FULL RANGE COLOR INSTALL PER MFR. REQUIREMENTS.

-X'-XX" FFE — SPOT ELEVATION INDICATING FINAL FINISH SURFACE HEIGHT BELOW EXISTING SLAB ELEVATION VERIFY IN FIELD ALL EXISTING ELEVATIONS.

SOIL TREATMENT

Termiticide: Provide an EPA-Registered termiticide, complying with requirements of authorities having jurisdiction, in an aqueous solution formulated to prevent termite infestation. Provide quantity required for application at the label volume and rate for the maximum termiticide concentration allowed for each specific use, according to product's EPA-Registered Label.

1. Products: Subject to compliance with requirements, available products that may be incorporated into the Work include, but are not limited to, the following:
   a. BASF Corporation, Agricultural Products; Termidor.
   b. Bayer Environmental Science; Premise 75.
   c. FMC Corporation, Agricultural Products Group; Dragnet FT, Talstar, Prevail.
   d. Syngenta; Demon TC, Prelude, Probuild TC.
2. Service Life of Treatment: Soil treatment termiticide that is effective & warrantied for not lessthan five years against infestation of subterranean termites.

SITEPLAN KEY NOTES

S1 LANDSCAPE/FLAGPOLE AREA. GC TO PROVIDE ALLOWANCE FOR LOW MAINTENANCE LANDSCAPE MATERIALS IN THIS AREA ON BID FORM. OWNER TO REVIEW & APPROVE PROPOSED LANDSCAPE MATERIALS PRIOR TO PURCHASING. INSTALL 8" WIDE BRICK PAVER BORDER AS SHOWN.

S2 FLAGPOLE LOCATION. BASIS OF DESIGN: 25'-0" TALL POLE FOR 4'x6' US FLAG EDER FLAG EC25. LOCATE & INSTALL POLE PER MFR'S REQUIREMENTS IN RELATIONSHIP TO BUILDING. ENSURE ANY PART OF ADJACENT BUILDING IS A MIN. 8' AWAY FROM FACE OF POLE (2' MORE THAN FLAG LENGTH). PROVIDE (3) UPLIGHTS EQ. TO WE-EF USA FIXTURE FLC131. LOCATE PER MFR REQUIREMENTS.

S3 PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING w/ FINAL GRADE @ LANDSCAPE AREA

S4 NOT USED

S5 STRIPE NEW PARKING AREA. (2) 9'x18' TYP. PARKING STALLS. (1) 8'x18' ADA PARKING STALL w/ ADJACENT 8'x18' STRIPED LOADING ZONE. PROVIDE WHEELSTOPS @ EA. PARKING STALL

S6 CONDENSING UNIT LOCATION. SEE MECH. DWGS. PROVIDE 4'H x 4'W P.T. LATTICE STRUCTURE w/ PT 4x4 POSTS FOR SCREENING. MAINTAIN ALL CLEARANCES @ UNIT.

S7 ROOF D.S. TO DISCHARGE ABOVE GRADE ON PRECAST CONC. SPLASHBLOCK

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THE FIRST MOUNTAIN CITY JASPER GEORGIA 1857

PROJECT INFORMATION

Project Number
16526.00

Client Name
City of Jasper

Project Name
Fire Station Addition

Project Address
277 Burton Street - Jasper, Georgia 30143

PROJECT ISSUE & REVISION SCHEDULE

vv	Date	Description

PROFESSIONAL STAMPS

STATE OF GEORGIA KENNETH SCOTT GORDON 6/30/22 REGISTERED ARCHITECT

SHEET INFORMATION

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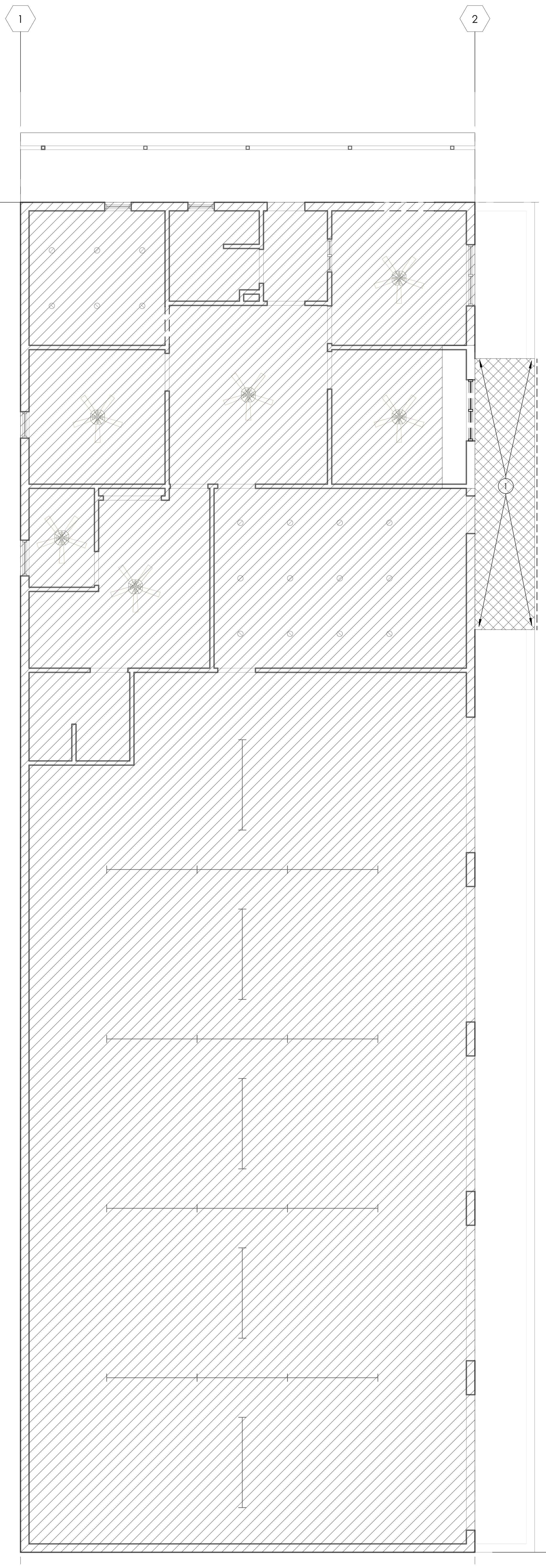
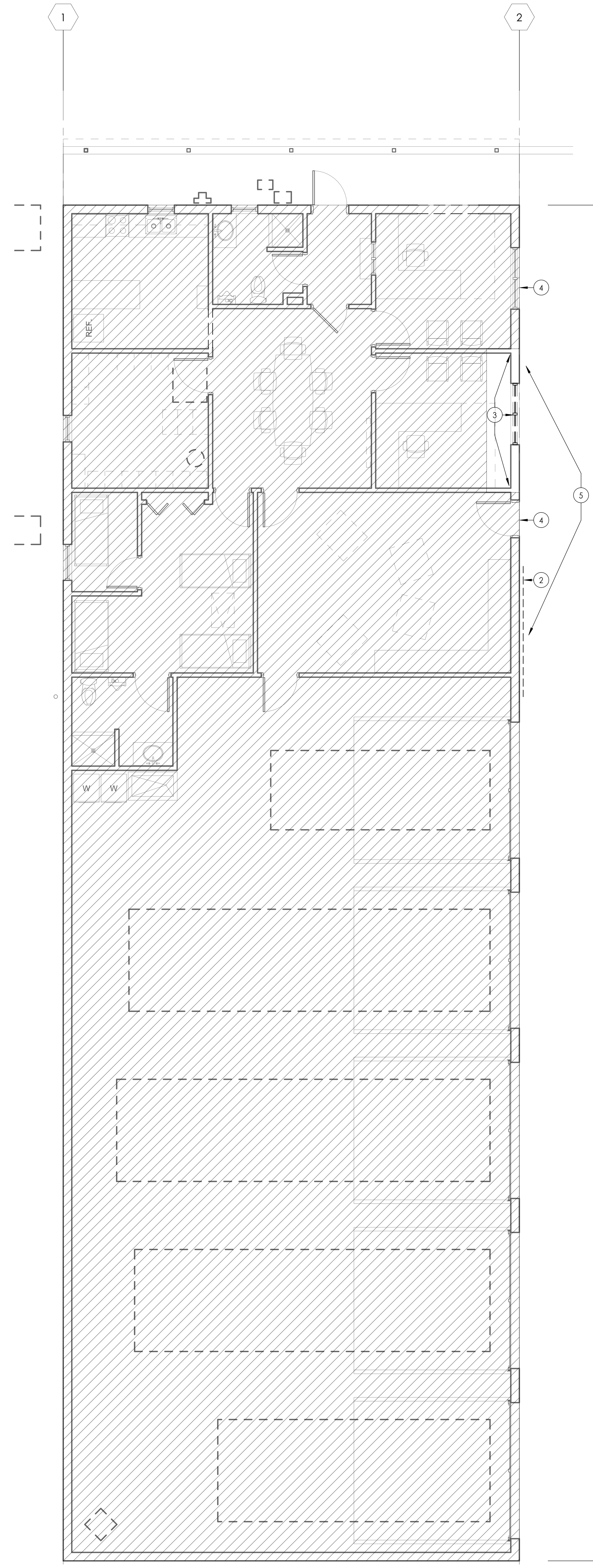


![NORTH] 2 / A100

REFLECTED CEILING PLAN - EXISTING/DEMOLITION

3/16" = 1'-0"



1 / A100

FLOOR PLAN - EXISTING/ DEMOLITION

3/16" = 1'-0"

DEMOLITION GENERAL NOTES

1. ALL DRAWINGS ARE GRAPHIC REPRESENTATION OF APPROXIMATE LOCATIONS OF MATERIALS TO BE REMOVED. IT IS THE CONTRACTORS RESPONSIBILITY TO FIELD VERIFY ALL EXISTING CONDITIONS & DIMENSIONS PRIOR TO COMMENCEMENT OF ALL DEMOLITION WORK.
2. REFER TO THE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR DEMOLITION OF EXISTING UTILITIES AND SERVICES.
3. ALL ITEMS TO BE SALVAGED WITHIN THE DEMOLITION AREA WILL BE REMOVED BY THE OWNER PRIOR TO ONSET OF DEMOLITION WORK.
4. REMAINING SUBSTRATES SHALL BE LEFT IN A CONDITION ACCEPTABLE TO RECEIVE NEW WORK. WHERE NEW FINISHES ARE SCHEDULED AT EXISTING CONDITIONS, REMOVE EXISTING FINISHES DOWN TO SUBSTRATE AND PREPARE SURFACE FOR NEW FINISH.
5. THE CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING FINISHES AND EQUIPMENT NOT REMOVED UNDER THE SCOPE OF WORK. ANY DAMAGE WILL BE REPAIRED TO THE OWNER/ARCHITECT'S SATISFACTION.
6. POWER, COMMUNICATION, GAS SHUT DOWNS SHALL NOT EFFECT PORTIONS OF BUILDING(S) THAT NEED TO REMAIN IN USE. CONTRACTOR TO REROUTE OR PROVIDE TEMPORARY POWER, COMMUNICATION, AND GAS. COORDINATE SHUT DOWNS WITH OWNER AND GENERAL CONTRACTOR.
7. WHERE NOTED, THE EXISTING CEILINGS SHALL BE REMOVED AND REPLACED IN A MANNER TO AVOID DAMAGE TO THE WALL SYSTEM.
8. NOTIFY ARCHITECT AND OWNER OF EXISTING DUCTWORK, PIPE AND CONDUIT PENETRATIONS EXPOSED AFTER DEMOLITION THAT ARE NOT FIRESTOPPED THROUGH EXISTING FLOORS AND WALLS IDENTIFIED AS FIRE AND/OR SMOKE RATED ON LIFE SAFETY PLANS. EXISTING NON-COMPLIANT PENETRATIONS ARE TO BE FIRESTOPPED.
9. WORK AREAS SHALL BE MAINTAINED AND ALL WORK AREAS SHALL BE LEFT BROOM CLEANED AT END OF EACH DAY.
10. IN ALL LOCATIONS THAT A DOOR IS ILLUSTRATED TO BE DEMOLISHED, REMOVE AND DISPOSE OF DOOR, FRAME, HARDWARE AND ALL ASSOCIATED ITEMS, UNLESS NOTED OTHERWISE.
11. ALL ITEMS SHOWN WITH A DASHED LINE ARE TO BE REMOVED AND DISPOSED OF UNLESS OTHERWISE NOTED.
12. SINKS INDICATED WITHIN MILLWORK BEING REMOVED SHALL ALSO BE REMOVED AND DISPOSED OF, ALONG WITH ALL ASSOCIATED ITEMS. COORDINATE WITH PLUMBING DRAWINGS.
13. TYPICAL BUILDING COMPONENTS TO BE LEFT IN PLACE WHICH ARE NOT TO BE DEMOLISHED, UNLESS NOTED OTHERWISE:
    A. FIRE PROOFING ON COLUMNS AND BEAMS WHICH IS NOT PART OF A WALL OR CEILING SYSTEM. THIS INCLUDES PLASTER, MASONRY, AND CONCRETE COVERS WHICH MAY BE ENCAPSULATED BY THE WALL OR CEILING ASSEMBLIES.
    B. ELECTRIC, PLUMBING AND HVAC LINES FEEDING AREAS TO REMAIN IN OPERATION. COORDINATE WITH MEP DRAWINGS.
    C. ANY STRUCTURES UNCOVERED AS A RESULT OF DEMOLITION WHICH APPEAR TO BE SUPPORTING IN NATURE AND REQUIRING VERIFICATION PRIOR TO DEMOLITION. THIS INCLUDES EQUIPMENT SUPPORTS AND STRUCTURE ADDED AS A RESULT OF PREVIOUS CONSTRUCTION OR ADDITIONS.
14. THE OWNER WILL REMOVE ALL MOVEABLE OR UNATTACHED ITEMS TO BE SAVED OR STORED PRIOR TO CONTRACTORS' SALVAGE OPERATIONS. ITEMS TO BE SALVAGED INCLUDE BUT ARE NOT LIMITED TO, THOSE ITEMS SHOWN ON THE DRAWINGS.
15. OWNER HAS THE RIGHT TO SALVAGE ANY FIXTURES AND/OR MILLWORK WITHIN AN AREA OF DEMOLITION PRIOR TO CONTRACTOR STARTING WORK IN THAT ZONE. COORDINATE TIMING OF SUCH REMOVALS WITH OWNER.
16. RECONSTRUCT EXISTING FIREPROOFING DUE TO WALL, CEILING OR EQUIPMENT DEMOLITION. REFER TO G-SERIES DRAWINGS FOR PROTECTION RATING REQUIREMENTS.
17. IN THE CASE THAT ANY SUSPICIOUS MATERIALS ARE UNCOVERED THAT APPEAR TO CONTAIN HAZARDOUS MATERIALS SUCH AS BUT NOT LIMITED TO MOLD, LEAD PAINT OR ASBESTOS, LEAVE THE PREMISES AND NOTIFY THE OWNER & ABATEMENT CONTRACTOR FOR REQUIRED TESTING AND/OR REMOVALS.

DEMO PLAN LEGEND

- EXISTING BUILDING, NO ARCHITECTURAL SCOPE OF WORK. VERIFY EXTENT OF WORK IN THIS AREA w/ MEP DWGS
- AREA OF DEMOLITION. SEE CORRESPONDING KEYNOTE FOR WORK REQUIRED

DEMOLITION KEY NOTES

(1) AT AREA OF ADDITION, GC TO REVIEW FEASIBILITY OF ADDITION ROOF INSTALLATION UNDER EXISTING OVERHANG. IF IT IS DETERMINED INSTALLATION OF ADDITION ROOF IS NOT POSSUBLE UNDER OVERHANG, GC MAY REMOVE, SALVAGE, AND REINSTALL EXISTING METAL PANEL SOFFIT/WALL FINISH TO ALLOW SPACE. SOFFIT/WALL PANELS & WRB TO BE REINSTALLED TO LIKE NEW CONDITION IF REMOVED

(2) SALVAGE EXISTING FIRE STATION SIGNAGE FOR OWNER'S USE

(3) DEMO EXISTING WINDOW. INFILL OPENING w/ NEW WALL CONSTRUCTION MATCHING ADJACENT WALLS. PAINT ENTIRE WALL TO LIKE NEW CONDITION

(4) EXISTING WINDOW/ DOOR TO REMAIN

(5) EXISTING EXT. FINISH TO REMAIN. DEMO ONLY PORTION REQUIRED TO PROPERLY FLASH ADDITION ROOF

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THE FIRST MOUNTAIN CITY JASPER GEORGIA 1857

PROJECT INFORMATION

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16526.00

Client Name
City of Jasper

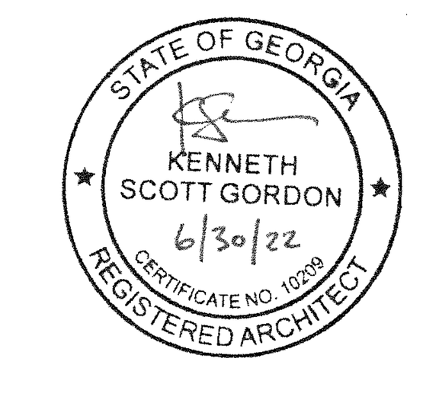
Project Name
Fire Station Addition

Project Address
277 Burton Street - Jasper, Georgia 30143

PROJECT ISSUE & REVISION SCHEDULE

vv	Date	Description

PROFESSIONAL STAMPS



SHEET INFORMATION

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07/01/22

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CPL

Checked By
CPL

Drawing Title
FLOORPLAN & REFLECTED CEILING PLAN - EXISTING/ DEMOLITION

Drawing Number
A100

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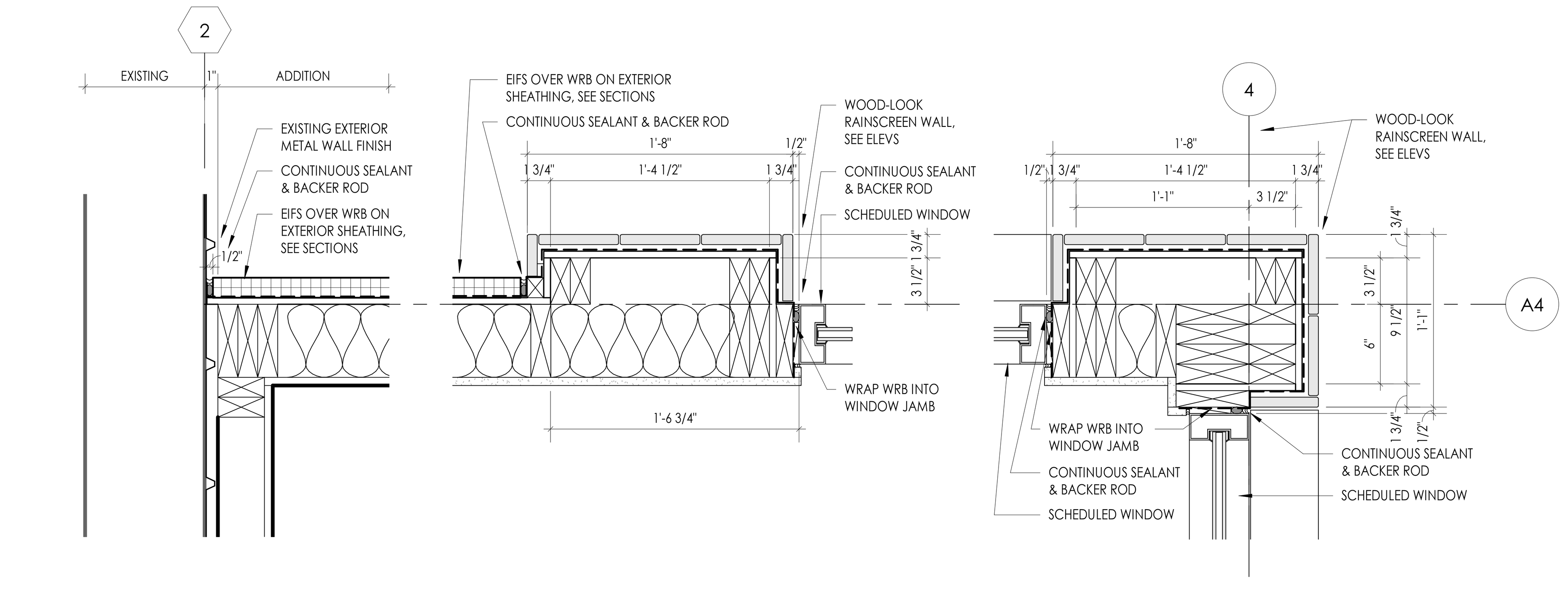
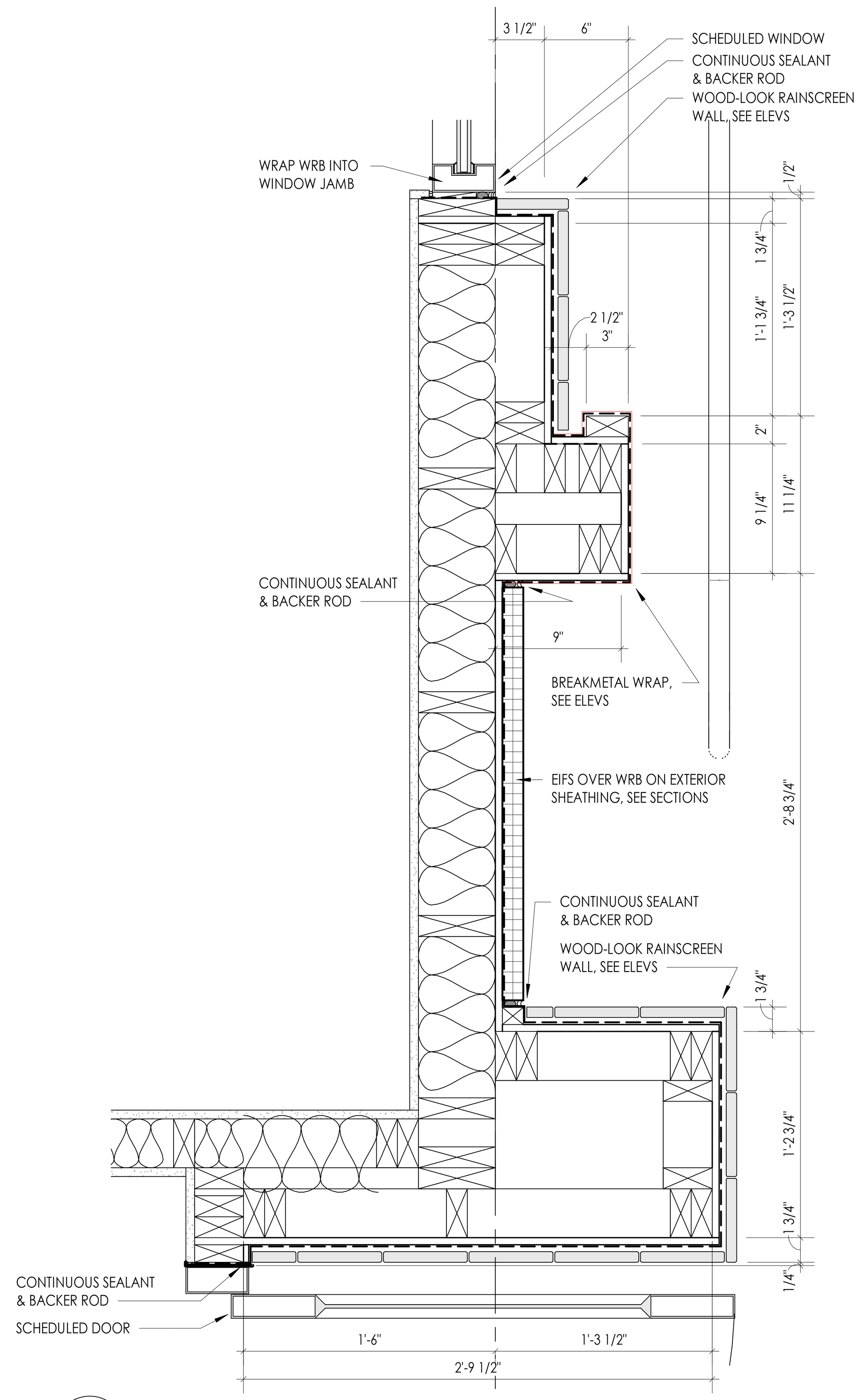
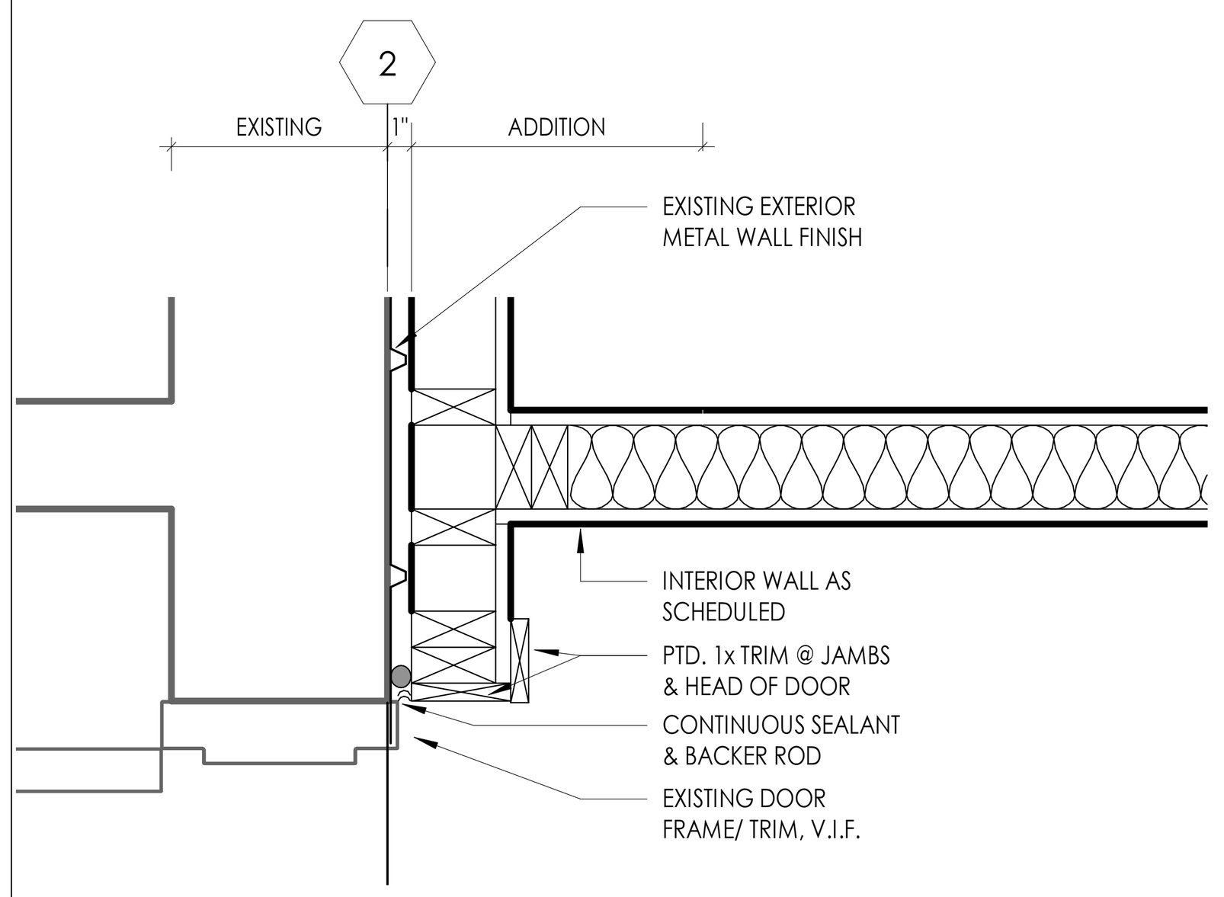


6 A200 **PLAN DETAIL - EXIST/ADD EXT JOINT** 1 1/2" = 1'-0"

4 A200 **PLAN DETAIL - EIFS TO TOWER WALL** 1 1/2" = 1'-0"

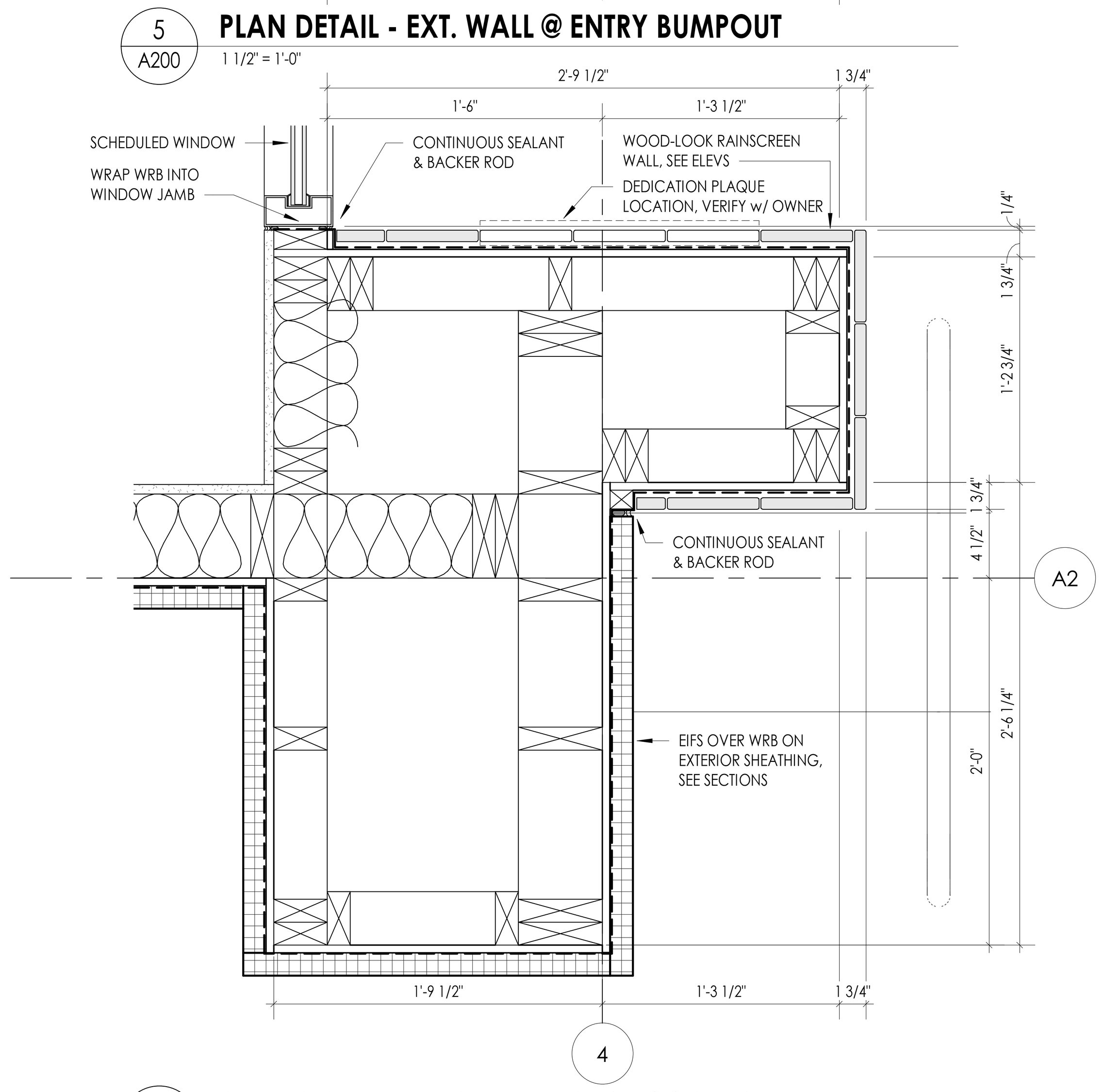
3 A200 **PLAN DETAIL - TOWER @ NE CORNER** 1 1/2" = 1'-0"



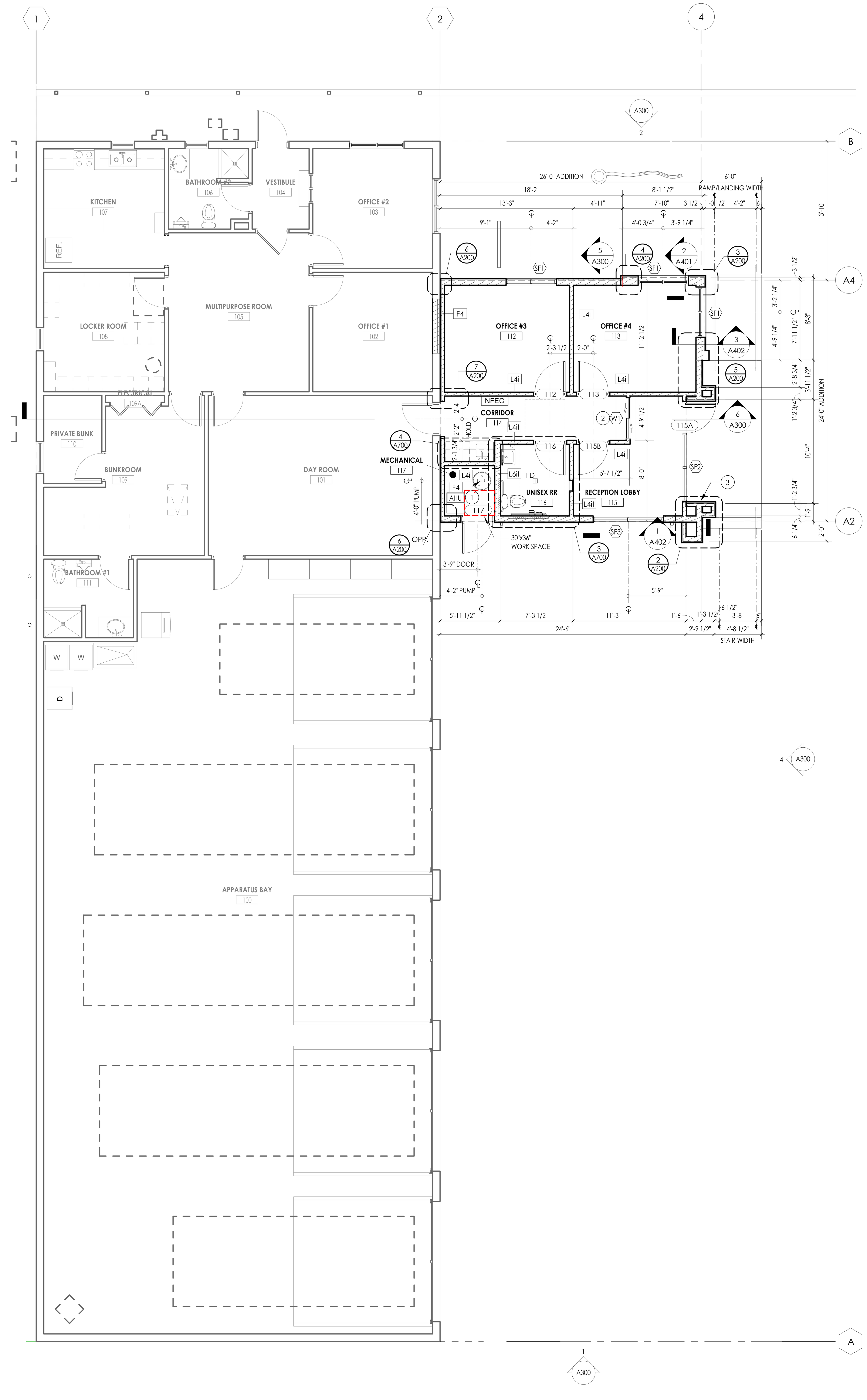


7 A200 **PLAN DETAIL - EXIST. TO ADD. CONNECTING DOOR** 1 1/2" = 1'-0"

5 A200 **PLAN DETAIL - EXT. WALL @ ENTRY BUMPOUT** 1 1/2" = 1'-0"



2 A200 **PLAN DETAIL - ENTRY FEATURE SE CORNER** 1 1/2" = 1'-0"



1 A200 **FLOOR PLAN - PROPOSED ARCHITECTURAL PLAN** 3/16" = 1'-0"

FLOOR PLAN GENERAL NOTES

1. ALL DRAWINGS ARE GRAPHIC REPRESENTATIONS OF APPROXIMATE LOCATIONS OF NEW MATERIALS. FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK.
2. ALL NEW WALL DIMENSIONS INDICATED ON FLOOR PLANS ARE FROM FACE OF STUD TO FACE OF STUD. WHERE DIMENSIONING TO EXISTING WALLS, DIMENSIONS ARE TO FINISH FACE OF EXISTING WALL, UNLESS OTHERWISE NOTED. STRUCTURAL DRAWINGS ARE DIMENSONED TO OUTSIDE FACE OF WALL SHEATHING/EDGE OF SLAB
3. SEE **A900s** FOR INTERIOR AND EXTERIOR DOORS, WINDOWS, AND STOREFRONTS.
4. WORK AREAS SHALL BE MAINTAINED AND ALL WORK AREAS SHALL BE LEFT BROOMED CLEAN AT END OF EACH DAY.
5. COORDINATE WITH OTHER TRADES FOR SEQUENCING OF WORK.
6. REFER TO **A700** FOR TYPICAL FIXTURE MOUNTING HEIGHTS AND ACCESSORIES LEGEND.
7. REFER TO **A700** FOR FURNISH AND INSTALL SCOPE OF EQUIPMENT AND ACCESSORIES.
8. EQUIPMENT SHOWN ON THESE DOCUMENTS ARE FOR REFERENCE ONLY AND ARE FOR COORDINATION OF M,E,P INFRASTRUCTURE TO OPERATE ITEMS INCLUDED UNDER THE SCOPE.
9. REFER TO OWNER FURNISHED EQUIPMENT DRAWINGS AND SUBMITTALS FOR FINAL COORDINATION AND INSTALLATION REQUIREMENTS INCLUDING BUT NOT LIMITED TO: DIMENSIONS, LOCATIONS & MEP CONNECTION LOCATION.
10. ALL FURNITURE IS PROVIDED BY OWNER UNLESS NOTED OTHERWISE.
11. PATCH AND FINISH ALL EXISTING WALLS TO REMAIN WITHIN THE PROJECT LIMIT AREA TO RECEIVE SPECIFIED FINISHES.
12. PROVIDE CONCRETE FLOOR PATCH AND FLOOR LEVELING AT EXISTING CONCRETE FLOORS FOR NEW FINISHES.

FLOOR PLAN LEGEND

NOTE: THIS LEGEND MAY CONTAIN SYMBOLS THAT ARE NOT USED IN THIS PROJECT.

Symbol	Description
DOOR	DOOR TAG AT NEW DOOR LOCATION, (SEE SCHEDULE A900)
W1	WINDOW TAG AT NEW WINDOW LOCATION, (SEE SCHEDULE A900)
X/#	EXISTING FOW LINE IDENTIFICATION
X/#	ADDITION FOS LINE IDENTIFICATION
ROOM NAME RM #	ROOM TAG
1 A3.1	SECTION MARK
3 A301 / 2 A701	EXTERIOR / INTERIOR ELEVATION MARK
1 A4.1	DETAIL FOR REFERENCE MARK
	DENOTES FINISH FLOOR / GRADE ELEVATION
XXX	2x4 OR 2x6 WOOD STUD WALL TYPE SEE WALL TYPE SCHEDULE, THIS DWG
	EXISTING WALL TO REMAIN. V.I.F. EXACT ASSEMBLY
NFEC	NEW SEMI-RECESSED FIRE EXTINGUISHER CABINET, BASIS OF DESIGN: LARSEN'S 1037V10. PROVIDE BLOCKING IN WALL AS NEEDED
#	KEYNOTE, SEE KEYNOTE LEGEND
	CLEARANCE REQUIRED AT DOOR/FIXTURE PER ADA AG 2010
FD	FLOOR DRAIN LOCATION. CENTER IN EACH SPACE. SLOPE FLOOR FINISH TOWARDS DRAIN @ 1/4:12 SLOPE MAX. SEE PLUMBING DWGS.

FLOOR PLAN KEY NOTES

1. SANITARY GRINDER PUMP LOCATION RECESSED IN SLAB. VERIFY w/ MEP DWGS
2. RECEPTION WINDOW/COUNTER @ 34"AFF.
3. BUILDING DEDICATION PLAQUE LOCATION. OWNER PROVIDED, GC INSTALLED. SEE RENDERING ON COVERSHEET FOR GENERAL PLACEMENT/SIZE. VERIFY FINAL PLACEMENT IN FIELD w/ OWNER.

WALL TYPE SCHEDULE

2x4 FRAMED INTERIOR WALLS		2x6 FRAMED INTERIOR WALLS	
F4	2x4 STUD WALL @ 16" O.C. SPACING CONTINUOUS TO B/ TRUSS 5/8" M.R. GYP. BD. ON FIN. SPACE SIDE ONLY, UP TO 6" ABV. ADJACENT CEIL.	F6	2x6 STUD WALL @ 16" O.C. SPACING CONTINUOUS TO B/ TRUSS 5/8" M.R. GYP. BD. ON FIN. SPACE SIDE ONLY, UP TO 6" ABV. ADJACENT CEIL.
L4	2x4 STUD WALL @ 16" O.C. SPACING CONTINUOUS TO B/ TRUSS 5/8" GYP. BD. EA. FACE, UP TO 6" ABV. ADJACENT CEIL.	L6	2x4 STUD WALL @ 16" O.C. SPACING CONTINUOUS TO B/ TRUSS 5/8" GYP. BD. EA. FACE, UP TO 6" ABV. ADJACENT CEIL.
L4i	2x4 STUD WALL @ 16" O.C. SPACING CONTINUOUS TO B/ TRUSS 5/8" GYP. BD. EA. FACE, UP TO 6" ABV. ADJACENT CEIL. 3 1/2" SOUND ATTENUATION FIBER BATTS IN WALL CAVITY	L6i	2x6 STUD WALL @ 16" O.C. SPACING CONTINUOUS TO B/ TRUSS 5/8" GYP. BD. EA. FACE, UP TO 6" ABV. ADJACENT CEIL. 3 1/2" SOUND ATTENUATION FIBER BATTS IN WALL CAVITY
L4it	2x4 STUD WALL @ 16" O.C. SPACING CONTINUOUS TO B/ TRUSS 5/8" GYP. BD. ON PUBLIC SIDE, 5/8" CEMENT BD. ON RR SIDE UP TO 6'-0" AFF w/ M.R. GYP. BD. ABV. TILE FINISH AS SCHEDULED SET IN MORTAR BED UP TO 6' ON RR SIDE 3 1/2" SOUND ATTENUATION FIBER BATTS IN WALL CAVITY	L6it	2x6 STUD WALL @ 16" O.C. SPACING CONTINUOUS TO B/ TRUSS 5/8" GYP. BD. ON PUBLIC SIDE, 5/8" CEMENT BD. ON RR SIDE UP TO 6'-0" AFF w/ M.R. GYP. BD. ABV. TILE FINISH AS SCHEDULED SET IN MORTAR BED UP TO 6' ON RR SIDE 3 1/2" SOUND ATTENUATION FIBER BATTS IN WALL CAVITY

NOTE: NOT ALL WALL TYPES ARE USED. NO WALLS ARE REQUIRED TO HAVE A FIRE RATING. WHERE TILE FINISH IS SCHEDULED, USE 5/8" CEMENT BOARD SUBSTRATE. MOISTURE RESISTANT GYP. BD. TO BE USED IN ALL WET LOCATIONS

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PROJECT INFORMATION

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277 Burton Street - Jasper, Georgia 30143

PROJECT ISSUE & REVISION SCHEDULE

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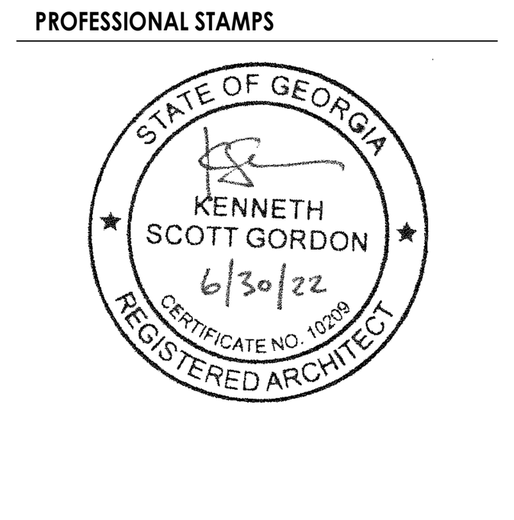
PROFESSIONAL STAMPS



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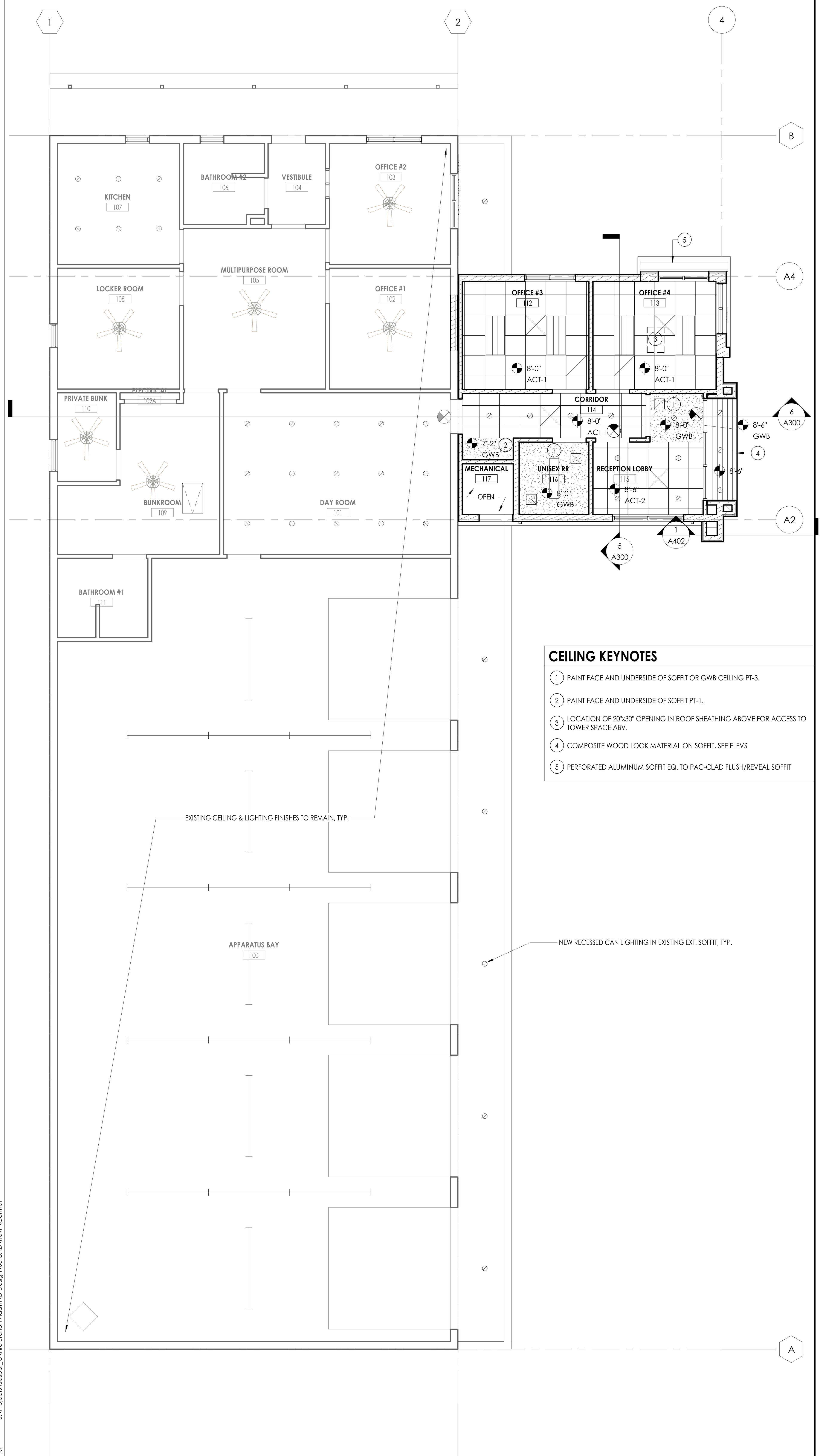

2 A201 NORTH **REFLECTED CEILING PLAN - PROPOSED**
3/16" = 1'-0"

CEILING KEYNOTES

1. PAINT FACE AND UNDERSIDE OF SOFFIT OR GWB CEILING PT-3.
2. PAINT FACE AND UNDERSIDE OF SOFFIT PT-1.
3. LOCATION OF 20"x30" OPENING IN ROOF SHEATHING ABOVE FOR ACCESS TO TOWER SPACE ABV.
4. COMPOSITE WOOD LOOK MATERIAL ON SOFFIT, SEE ELEVS
5. PERFORATED ALUMINUM SOFFIT EQ. TO PAC-CLAD FLUSH/REVEAL SOFFIT

1 A201 NORTH **FLOOR PLAN - PROPOSED FURN. & FINISH PLAN**
3/16" = 1'-0"

INTERIOR FINISH SCHEDULE

FINISH CODE	MANUFACTURER	PATTERN/STYLE	COLOR	SIZE	SPECIFICATIONS	NOTES
ACOUSTICAL CEILING TILE (ACT)						
ACT-1	ARMSTRONG	CANYON #1492	WHITE	24"X24"	PROVIDE ARMSTRONG PRELUDE XL GRID SYSTEM. DO NOT USE POP RIVETS. INSTALL PANELS WITH PATTERN RUNNING IN ONE DIRECTION PARALLEL TO LONG AXIS OF SPACE. PROVIDE ALL METAL EDGE MOLDINGS AND TRIM AS REQUIRED.	
ACT-2	ARMSTRONG	CREATE	TO BE SELECTED BY ARCHITECT FROM MANUFACTURER'S FULL LINE	24"X24"	PROVIDE ARMSTRONG PRELUDE XL GRID SYSTEM. DO NOT USE POP RIVETS. INSTALL PANELS WITH PATTERN RUNNING IN ONE DIRECTION PARALLEL TO LONG AXIS OF SPACE. PROVIDE ALL METAL EDGE MOLDINGS AND TRIM AS REQUIRED.	
CARPET (CPT)						
CPT-1	SHAW CONTRACT GROUP	MEMORY TILE	FIRE	24"X24"	PROVIDE ONE BOX OF ATTIC STOCK FOR OWNER. INSTALL IN BRICK PATTERN. INSTALL AFTER MODULES ARE CONDIITONED TO ROOM TEMPERATURE 48 HOURS PRIOR TO INSTALLATION. FOLLOW FULL MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION, INCLUDING SURFACE PREPARATION. NEW CONCRETE MUST BE PRIMED.	
FIBERGLASS REINFORCED PANEL (FRP)						
FRP-1	MARLITE	PEBBLED TEXTURE	WHITE	4'x8' SHEETS	PROVIDE ALL MATCHING PVC TRIM AS REQUIRED.	
GROUT (GRT)						
GRT-1	TEC	POWERGROUT	TO BE SELECTED BY ARCHITECT FROM MANUFACTURER'S FULL LINE			FOR USE WITH T-1
GRT-2	TEC	POWERGROUT	TO BE SELECTED BY ARCHITECT FROM MANUFACTURER'S FULL LINE			FOR USE WITH T-2
GRT-3	TEC	POWERGROUT	TO BE SELECTED BY ARCHITECT FROM MANUFACTURER'S FULL LINE			FOR USE WITH T-3
LUXURY VINYL TILE (LVT)						
LVT-1	ARMSTRONG	NATURAL CREATIONS WITH DIAMOND 10	WOOD LOOK, TO BE SELECTED BY ARCHITECT FROM MANUFACTURER'S FULL LINE		PROVIDE LOW VOC ADHESIVE. FURNISH ONE BOX OF EXTRA MATERIAL FOR ATTIC STOCK. TEST NEW SLAB FOR MOISTURE CONTENT AND USE THE CORRECT ADHESIVE TO MATCH RELATIVE HUMIDITY OR MOISTURE CONTENT IN THE SLAB.	
PAINT (PT)						
PT-1	SHERWIN WILLIAMS		SW7672 KNITTING NEEDLES		REFER TO INTERIOR PAINT SPECIFCATIONS LEGEND	TYPICAL WALL PAINT
PT-2	SHERWIN WILLIAMS		SW6871 POSITIVE RED		REFER TO INTERIOR PAINT SPECIFCATIONS LEGEND	ACCENT PAINT
PT-3	SHERWIN WILLIAMS		SW7007 CEILING BRIGHT WHITE		REFER TO INTERIOR PAINT SPECIFCATIONS LEGEND	WHITE CEILING PAINT
PLASTIC LAMINATE (LAM)						
LAM-1	WILSONART		TO BE SELECTED BY ARCHITECT FROM MANUFACTURER'S FULL LINE			
RESILIENT BASE (RB)						
RB-1	ROPPE	4" COVE BASE	TO MATCH WALL COLOR			
SOLID SURFACE MATERIAL (SSM)						
SSM-1	CORIAN		CIRRUS WHITE			
TILE (T)						
T-1	ANATOLIA TILE	CINQ	GREY	13"x13"	PROVIDE MARBLE THRESHOLDS AT ENTRY DOORS TO RESTROOMS. FLOOR TILE TO BE INSTALLED IN ACCORDANCE WITH TCNA F113. PROVIDE WATERPROOFING AND CRACK ISOLATION MEMBRANE.	
T-2	APHELION TILE	CURIE	ALLIANCE, SATIN FINISH	12"x24"	WALL TILE TO BE INSTALLED IN ACCORDANCE WITH TCNA W244. PROVIDE CRACK ISOLATION MEMBRANE.	
T-3	ROCA TILE	PENNY ROUND MOSAIC	RED PEPPER	12"x12" SHEETS	PROVIDE SCHLUTER JOLLY TRIM IN SATIN ANODIZED ALUMINUM FINISH ON ALL EXPOSED EDGES OF BACKSPLASH. TILE TO BE INSTALLED IN ACCORDANCE WITH TCNA W243.	
TRANSITION (TS)						
TS-1	ROPPE	TRANSITION #50	150 DARK GRAY		CONTRACTOR RESPONSIBLE FOR VERIFYING TRANSITION STRIP WORKS WITH SPECIFIED MATERIAL THICKNESSES PRIOR TO PLACING ORDERS.	CPT/WOC TO LVT TRANSITION
TS-2	SCHLUTER SYSTEMS	DILEX-EHK	BRUSHED STAINLESS		INSTALL AS COVE BASE WHERE NOTED.	
TS-3	SCHLUTER SYSTEMS	RONDEC	BRUSHED STAINLESS		INSTALL AT TOP OF TILE AS INDICATED.	
WALK-OFF CARPET (WOC)						
WOC-1	SHAW CONTRACT GROUP	BONJOUR II	STERLING		INSTALL WITH QUARTER-TURNED INSTALLATION METHOD. FURNISH SECOND SET OF CARPET TILES IN ALL LOCATIONS INDICATED TO RECEIVE WOC FOR USE AS ROTATING STOCK. CUT SECOND SET AS NECESSARY TO INSTALL IN LAYOUT/PATTERN INDICATED ON FINISH PLAN. NUMBER CARPET TILES IN SEQUENCE AND LABEL. ADHESIVE USED SHALL BE LOW VOC. WARRANTY PERIOD REQUIRED IS 10 YEARS FROM DATE OF SUBSTANTIAL COMPLETION. FAILURES OF PRODUCT INCLUDE BUT ARE NOT LIMITED TO MORE THAN 10% EDGE RAVELING, SNAGS, RUNS, DIMENSIONAL STABILITY, EXCESS STATIC DISCHARGE, LOSS OF TUFT BIND STRENGTH, LOSS OF FACE FIBER, AND DELAMINATION.	
WOOD BASE (WB)						
WB-1			WHITE - TO MATCH EXISTING BASE	MATCH EXISTING	MATCH EXISTING WOOD BASE IN PROFILE, HEIGHT, THICKNESS AND COLOR	

FINISH PLAN GENERAL NOTES

1. ALL NEW HOLLOW METAL DOORS, DOOR FRAMES AND WINDOW FRAMES IN PROJECT SCOPE SHALL BE PAINTED TO MATCH ADJACENT WALLS, UNLESS NOTED OTHERWISE.
2. ALL LOUVERS, VENTS, GRILLES AND OTHER MISCELLANEOUS MECHANICAL AND ELECTRICAL DEVICES ARE TO BE PAINTED TO MATCH THE SURFACE ON WHICH THEY APPEAR, UNLESS NOTED OTHERWISE.
3. UNDERSIDE OF SOFFITS TO MATCH FACE OF SOFFIT. SEE **CEILING PLAN** FOR PAINT ACCENT SPECIFICATIONS. PAINT GWB CEILINGS AS NOTED IN FINISH SCHEDULE.
4. REFER TO A700 SERIES INTERIOR ELEVATIONS FOR MILLWORK FINISHES.
5. ALL WINDOW SILLS SHALL BE **SSM-1**, UNLESS OTHERWISE NOTED.
6. HIGH PRESSURE PLASTIC LAMINATE ON VERTICAL SURFACES TO RUN VERTICALLY, UNLESS NOTED OTHERWISE.
7. WHERE KICKSPACES OCCUR AT MILLWORK, FLOOR FINISH SHOWN ON PLANS SHALL RUN UNDERNEATH KICKSPACE AS WELL.
8. ALL FLOOR FINISHES SHALL TRANSITION AT THE CENTERLINE OF THE DOOR, UNLESS NOTED OTHERWISE. INSTALL TRANSITION STRIPS PER DETAILS AS SPECIFIED.
9. PROVIDE CONCRETE FLOOR PREPARATION IN ACCORDANCE WITH FLOORING MANUFACTURER SPECIFICATION.
10. ALL NON-EPOXY GROUT TO BE SEALED A MINIMUM OF TWO TIMES PRIOR TO COMPLETION.
11. ALL WOOD DOORS TO BE STAIN GRADE FINISH ________
12. ALL FURNITURE, FIXTURES, EQUIPMENT SHOWN FOR REFERENCE ARE TO BE PROVIDED BY OWNER

FINISH PLAN SYMBOLS LEGEND

NOTE: THIS LEGEND MAY CONTAIN SYMBOLS THAT ARE NOT IN THIS PROJECT

ROOM NUMBER — MULTIPURPOSE ROOM — ROOM NAME
101 (150 SF) — ROOM AREA
WALL FINISH(ES) — DWC-33, DWC-33 / DWC-33, DWC-33
TER-1, TER-2 — BASE FINISH (ES)
DWC-33, DWC-33 / DWC-33, DWC-33 — FLOOR FINISH(ES)

X — FINISH PLAN KEY NOTE
CGX — CORNER GUARD
XXX — EXTENT OF NOTED FINISH
X-X — WALL PROTECTION
WTX — WINDOW TREATMENT
WP — WORK POINT
FLOOR DIRECTION (LONG SIDE OF FLOOR TILE PARALLEL WITH LONG SIDE OF SYMBOL)
XXX — XXX MATERIAL TRANSITION
TSX — TRANSITION STRIP

FINISH ABBREVIATIONS

NOTE: THIS LEGEND MAY CONTAIN ABBREVIATIONS THAT ARE NOT IN THIS PROJECT

ACT	ACOUSTICAL CEILING TILE	RB	RESILIENT BASE
CG	CORNER GUARD	SC	SPECIALTY CEILING
CPT	CARPET	SCON	SEALED CONCRETE
EPT	EPOXY PAINT	SSM	SOLID SURFACE MATERIAL
ETR	EXISTING TO REMAIN	T	TILE
EXP	EXPOSED	TR	TRIM
FRP	FIBER REINFORCED PANEL	TS	TRANSITION STRIP
GRT	GROUT	WB	WOOD BASE
INT	INTEGRAL	WG	WALL GUARD
LAM	PLASTIC LAMINATE	WOC	WALK OFF CARPET
LVT	LUXURY VINYL TILE	WT	WINDOW TREATMENT
PT	PAINT		

FINISH PLAN KEY NOTES

1. BACKSPLASH TILE T-3. INSTALL OVER 5/8" CEMENT BD ON 3 SIDES OF MILLWORK ALCOVE, TERMINATING TO ALIGN WITH EDGES OF SSM COUNTER. SEE COFFEE STATION ELEVATION.
2. PT-2 ACCENT WALLS.
3. KEYPAD ACCESS ON LOBBY SIDE OF THIS DOOR HW.
4. TV LOCATION. APPROX. 40" SCREEN SHOWN. GC TO PROVIDE BLOCKING, POWER, DATA.

INTERIOR PAINT SPECIFICATIONS

1. FOR TYPICAL GWB WALLS: PAINT SYSTEM SHALL BE EQUAL TO SHERWIN WILLIAMS PROMAR 200 INTERIOR LATEX PRIMER, B28W600 (PRIME COAT) FOLLOWED BY TWO COATS OF SHERWIN WILLIAMS PROMAR 200 EGSHEL, B20-650 SERIES.
2. FOR TRIM PAINT: PAINT SYSTEM SHALL BE EQUAL TO SHERWIN WILLIAMS PRO-INDUSTRIAL PRO-CRYL UNIVERSAL PRIMER, B66-310 SERIES (PRIME COAT) FOLLOWED BY TWO COATS OF SHERWIN WILLIAMS PRO INDUSTRIAL ZERO VOC ACRYLIC SEMI-GLOSS, B66-650 SERIES.
3. FOR TYPICAL GWB CEILINGS: PAINT SYSTEM SHALL BE EQUAL TO SHERWIN WILLIAMS PROMAR 200 INTERIOR LATEX PRIMER, B28W600 (PRIME COAT) FOLLOWED BY TWO COATS OF SHERWIN WILLIAMS PROMAR 200 FLAT, B30-600 SERIES.
4. FOR ALL NEW HOLLOW METAL DOORS/FRAMES TO RECEIVE EPT: PAINT SYSTEM TO BE EQUAL TO SHERWIN WILLIAMS PRO-INDUSTRIAL WATER BASED CATALYZED EPOXY. (1 COAT PRO INDUSTRIAL PRO-CRYL PRIMER, 2 COATS PRO INDUSTRIAL WATER BASED EPOXY). NEW FACTORY PRIMED FRAMES TO BE CLEANED, TOUCHED UP, & FREE OF RUST PRIOR TO APPLYING 2 COATS PRO INDUSTRIAL WATER BASED EPOXY IN FIELD.

GENERAL CEILING NOTES

1. ALL DRAWINGS ARE GRAPHIC REPRESENTATION OF APPROXIMATE LOCATIONS OF NEW MATERIALS FOR CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY ALL CONDITIONS PRIOR TO COMMENCEMENT OF WORK.
2. REFER TO **A200 SERIES** FOR FLOOR PLAN.
3. FOR ANY DISCREPANCY BETWEEN THE REFLECTED CEILING PLAN AND THE FLOOR PLAN: THE FLOOR PLAN SHALL TAKE PRECEDENCE. ANY DISCREPANCY SHALL BE CALLED TO THE ATTENTION OF THE ARCHITECT.
4. FIRE STOP MECHANICAL, ELECTRICAL AND PLUMBING ITEMS, INCLUDING BUT NOT LIMITED TO DUCTWORK AND CONDUIT PENETRATIONS THROUGH WALLS.
5. COORDINATE CEILING INSTALLATIONS WITH MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS.
6. REFER TO **"M" SERIES** DRAWINGS FOR DIFFUSERS AND GRILLE LOCATIONS.
7. REFER TO **"E" SERIES** DRAWINGS FOR LIGHTING TYPES AND CONTROLS.
8. WORK AREAS SHALL BE MAINTAINED AND ALL WORK AREAS SHALL BE LEFT BROOMED CLEAN AT THE END OF EACH DAY.
9. CENTER CEILING GRID (EACH WAY) IN ROOMS SCHEDULED TO RECEIVE ACOUSTICAL CEILING SYSTEMS UNLESS OTHERWISE NOTED.
10. VERIFY WITH ARCHITECT THE INSTALLATION OF ANY CEILING TILES LESS THAN 4" IN WIDTH.
11. PROVIDE MOISTURE RESISTANT GYP. BD. AT ALL TOILET ROOM, JANITOR'S CLOSET AND OTHER WET LOCATION CEILING ASSEMBLIES.
12. ALL GYP. BD. CEILINGS AND SOFFITS SHALL BE PRIMED AND PAINTED SCHEDULED COLOR ON ALL FACES AND UNDERSIDE SURFACE.
13. VERIFY SOFFIT SIZE WITH MILLWORK SHOP DRAWINGS. PROVIDE 2" OVERHANG ON EXPOSED EDGES UNLESS NOTED OTHERWISE.
14. WHERE APPLICABLE ALL FIXTURES AND DEVICES SHALL BE CENTERED ON A CEILING TILE.
15. INSTALL CONTROL JOINTS IN GYP. CEILINGS PER ASTM C 840.

CEILING SYMBOL LEGEND

NOTE: THIS LEGEND MAY CONTAIN SYMBOLS THAT ARE NOT USED IN THIS PROJECT.

- 2'X2' LIGHT
- 2'x4' LIGHTS
- 1'X4' LINEAR LIGHT FIXTURE
- RECESSED CAN LIGHT FIXTURE
- PENDANT LIGHT FIXTURES
- WALL SCONCE
- SUPPLY AIR DIFFUSERS
- RETURN AIR DIFFUSERS
- EXHUAST DIFFUSERS
- LINEAR SLOT AIR DIFFUSERS
- GYPSUM WALL BOARD CEILING
- ACOUSTICAL TILE CEILING
- WOOD FACADE CLADDING MATERIAL TO MATCH ELEV.
- ACT-1 9'-0" CEILING TYPE AND CEILING HEIGHT ABOVE FINISHED FLOOR

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THE FIRST MOUNTAIN CITY JASPER GEORGIA 1857

PROJECT INFORMATION

Project Number
16526.00

Client Name
City of Jasper

Project Name
Fire Station Addition

Project Address
277 Burton Street - Jasper, Georgia 30143

PROJECT ISSUE & REVISION SCHEDULE

vv Date Description

PROFESSIONAL STAMPS

STATE OF GEORGIA KENNETH SCOTT GORDON 6/30/22 CERTIFICATE NO. 10209 REGISTERED ARCHITECT

SHEET INFORMATION

Issued: 07/01/22
Scale: As indicated
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Drawn By: Author
Checked By: Checker
Drawing Title: FURNITURE & FINISH PLAN, REFLECTED CEILING PLAN - PROPOSED
Drawing Number: A201

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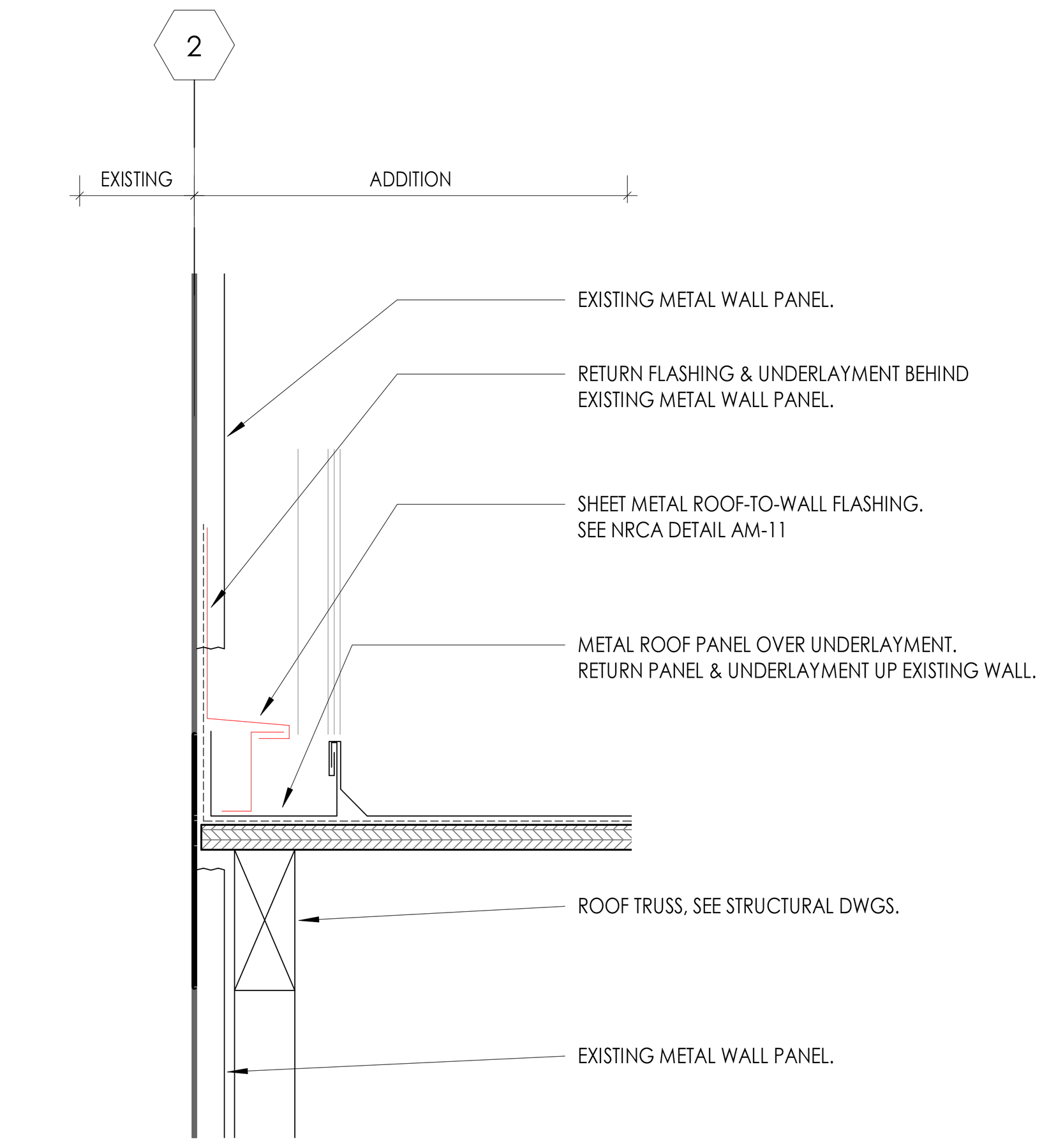
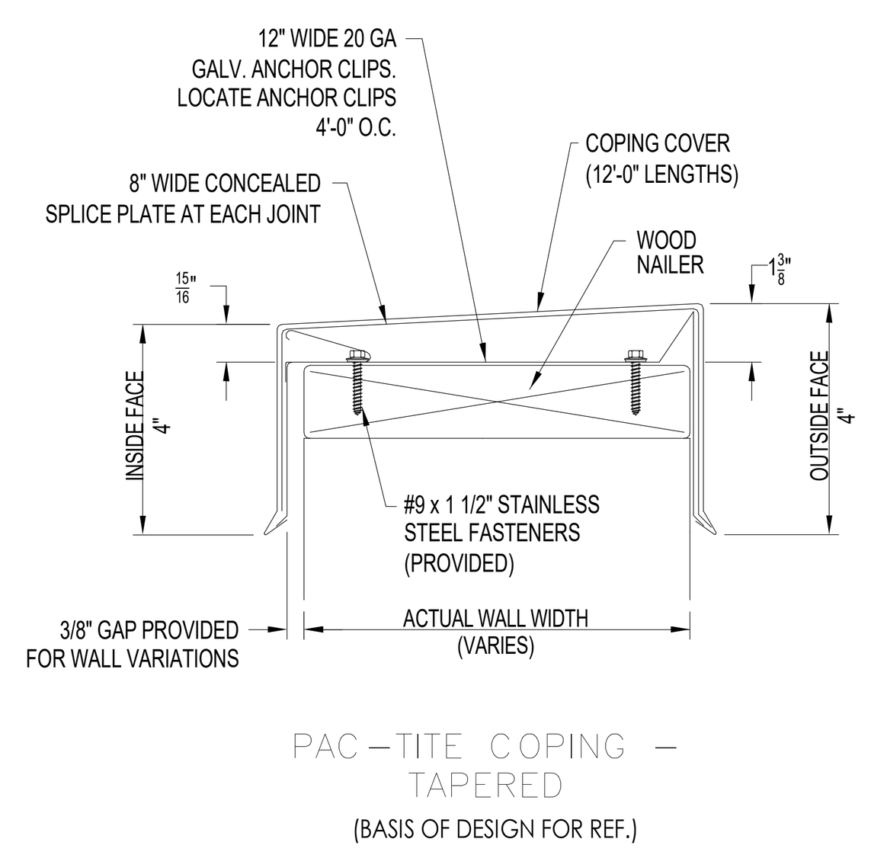


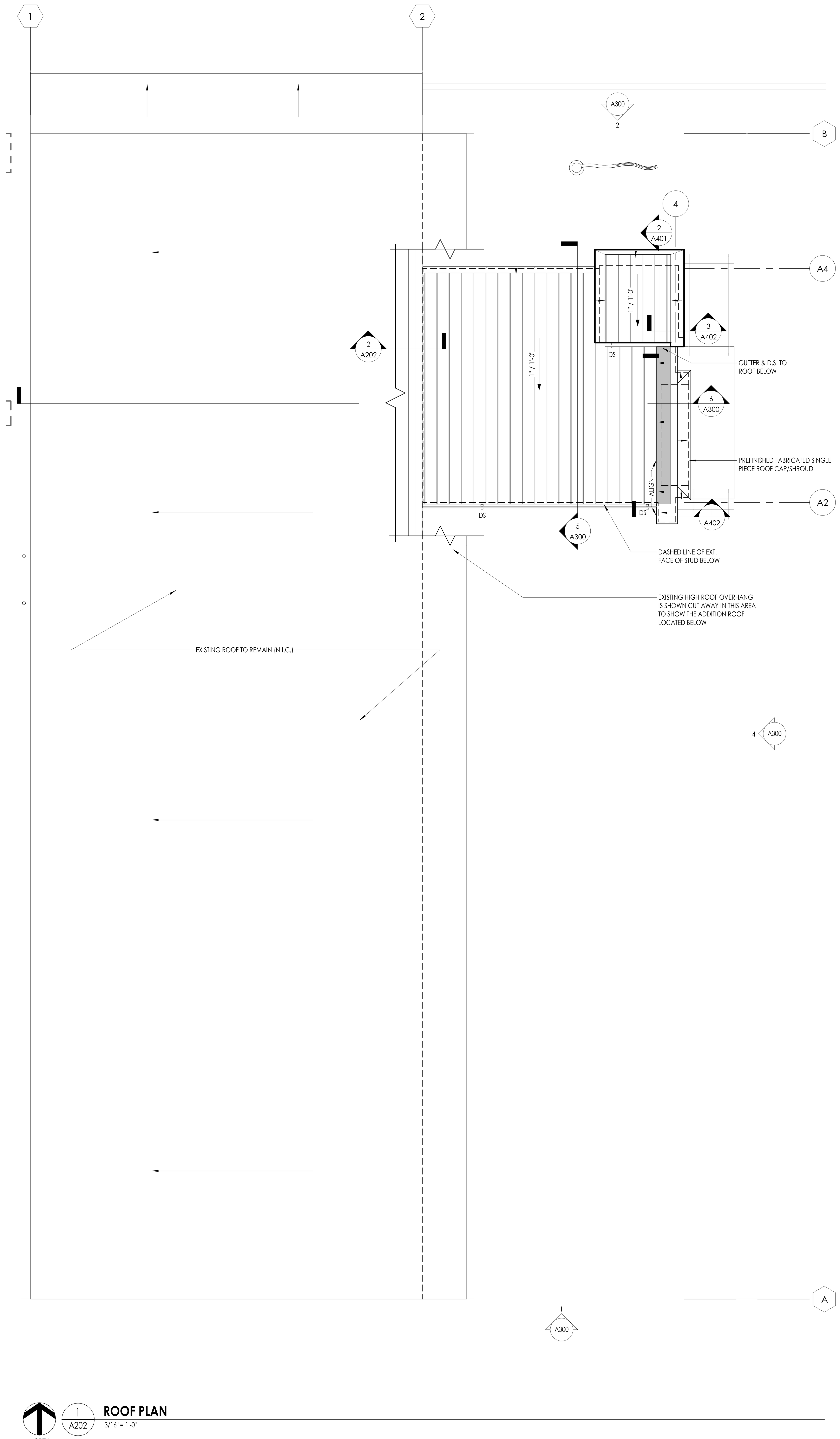
2 A202 NEW ROOF TO (E) SIDEWALL TRANSITION

3" = 1'-0"



3 A202 TYPICAL COPING DETAIL

3" = 1'-0"



1 A202 ROOF PLAN

3/16" = 1'-0"

ROOF PLAN GENERAL NOTES

1. ALL DRAWINGS ARE GRAPHIC REPRESENTATIONS OF APPROXIMATE LOCATIONS OF MATERIALS. FIELD VERIFY ALL CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK.
2. REFER TO ALL DRAWINGS IN THE SET FOR LOCATIONS OF ALL ROOF PENETRATIONS. PROVIDE FRAMING AS REQUIRED.
3. PAINT ALL ROOF FASTENERS EXPOSED TO VIEW AT UNDERSIDE OF DECK TO MATCH.
4. WORK AREAS SHALL BE MAINTAINED AND ALL WORK AREAS SHALL BE BROOM CLEAN AT THE END OF EACH DAY.
5. ALL WOOD BLOCKING USED SHALL BE PRESSURE TREATED.
6. THE ROOF ELEVATIONS SHOWN ON THE PLAN ARE SHOWN TO ESTABLISH RELATIVE HEIGHTS OF THE INDIVIDUAL ROOFS.
7. NO WEEP HOLES SHALL BE COVERED OR PLUGGED AS A RESULT OF THE ROOFING WORK, UNLESS OTHERWISE DIRECTED.
8. MAINTAIN WATER TIGHTNESS AND PROVIDE PROTECTION AT ANY/ALL OPENINGS IN THE ROOF LEFT AT THE END OF EACH DAY.
9. PROVIDE CRICKETS FOR WATER DIVERSION AT ALL CURBS, RAILS, ETC. WHICH RUN PERPENDICULAR TO THE SLOPE OF THE INSULATION/SLOPED STRUCTURE.
10. ALL ROOF TOP UNITS SHALL BE MOUNTED ON 16" MIN. INSULATED METAL CURBS. PROVIDE TAPERED INSULATION CRICKETS AS REQUIRED TO SHED WATER. WOOD BLOCKING SHALL BE PROVIDED SO CURBS ARE 8" ABOVE FINISHED ROOF SURFACE.
11. PROVIDE 2x WOOD BLOCKING AS REQUIRED FOR GUTTER/PARAPET COPING ATTACHMENT. ALL WOOD BLOCKING USED SHALL BE PRESERVATIVE -TREATED.
12. ALL SADDLES AND CRICKETS ARE TO HAVE A MIN. 1" PER FOOT SLOPE AS INDICATED. PROVIDE CRICKETS FOR DIVERSION OF WATER AT ALL CURBS, RAILS, ETC. WHICH RUN PERPENDICULAR TO SLOPE OF INSULATION.
13. ALL ROOFS TO HAVE MINIMUM R-VALUE OF R-38 (IN ATTIC). *(CLIMATE ZONE 4)*
14. UPON COMPLETION OF WORK, THE PLUMBING CONTRACTOR SHALL SNAKE OUT ALL ROOF DRAINS AND VERIFY ALL ARE CLEAR AND LEFT IN A FREE FLOWING CONDITION.
15. ALL CURBS FOR MECHANICAL EQUIPMENT SHALL BE PROVIDED BY THE MECHANICAL CONTRACTOR AND INSTALLED BY THE GENERAL CONTRACTOR ASSOCIATED ROOF/FLASHING BY GENERAL CONTRACTOR.
16. THE INSTALLED ROOFING SYSTEM SHALL MEET ALL REQUIREMENTS FOR CLASSIFICATION AS A UL CLASS "B" ROOF ASSEMBLY.
17. PROVIDE AND APPLY ADHESIVE VAPOR BARRIER TO ALL ROOF SURFACES AT THE BEGINNING OF CONSTRUCTION. ADHESIVE VAPOR BARRIER SHALL REMAIN IN PLACE THROUGHOUT CONSTRUCTION.

ROOF PLAN LEGEND

DS	DOWNSPOUT LOCATION. DISCHARGE ABOVE GRADE ON CONC. SPLASH BLOCK
	METAL ROOF CRICKET. PROVIDE 1"/ 1'-0" POSITIVE DRAINAGE
VTR	VENT THRU ROOF, PROVIDE FLASHING PER ROOF MANUFACTURER'S DETAILS
	MECH. CURB (W/ CRICKET). PROVIDE FLASHING PER ROOF MANUFACTURER'S DETAILS
1/4" / 1'-0"	ROOF SLOPE
E.J.	EXPANSION JOINT.
	STANDING SEAM METAL ROOF

ROOF COMPOSITION NOTES

ADDITION ROOF SYSTEM:

- MONO-SLOPE OPEN WEB WOOD TRUSS FRAMING (1:12 SLOPE, 16"oc SPACING) @ MAIN ADDITION ROOF. 2x RAFTERS @ 16" O.C. @ TOWER ROOF. SEE STRUCTURAL
- R-38 CLOSED CELL SPRAY FOAM INSULATION APPLIED TO UNDERSIDE OF ROOF DECK
- MIN. 5/8" ROOF SHEATHING PER STRUCTURAL DWGS w/ UNDERLAYMENT EQ. TO GRACE ICE & WATER SHIELD® HT
- STANDING SEAM METAL ROOF FINISH EQ. TO:
  1. MERCHANT & EVANS INC, ZIP-LOK PRODUCT, ALUMINUM-ZINC COATED STEEL 22 GA. , 1 1/2"h x 16"w PANELS, COLOR TO MATCH EXISTING BUILDING COLORS. MINIMUM 30 YEAR WARRANTY
- GC TO PROVIDE BID ALTERNATE FOR SCREW DOWN METAL ROOF EQ. TO:
  1. MBCI PBR PRODUCT. SIGNATURE 200 FINISH, 24 GA., COLOR TO MATCH EXISTING BUILDING COLORS. MINIMUM 30 YEAR WARRANTY.

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PROJECT INFORMATION

Project Number
16526.00

Client Name
City of Jasper

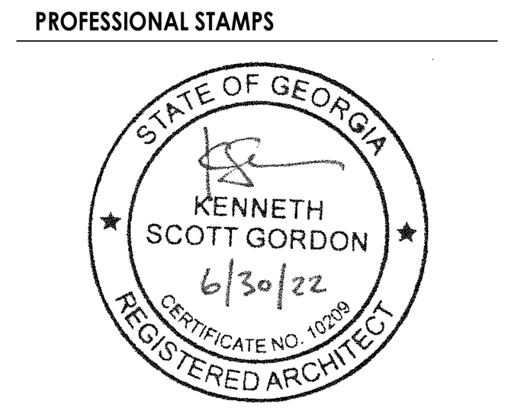
Project Name
Fire Station Addition

Project Address
277 Burton Street - Jasper, Georgia 30143

PROJECT ISSUE & REVISION SCHEDULE

#	Date	Description

PROFESSIONAL STAMPS



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Drawing Title: OVERALL ROOF PLAN
Drawing Number

A202

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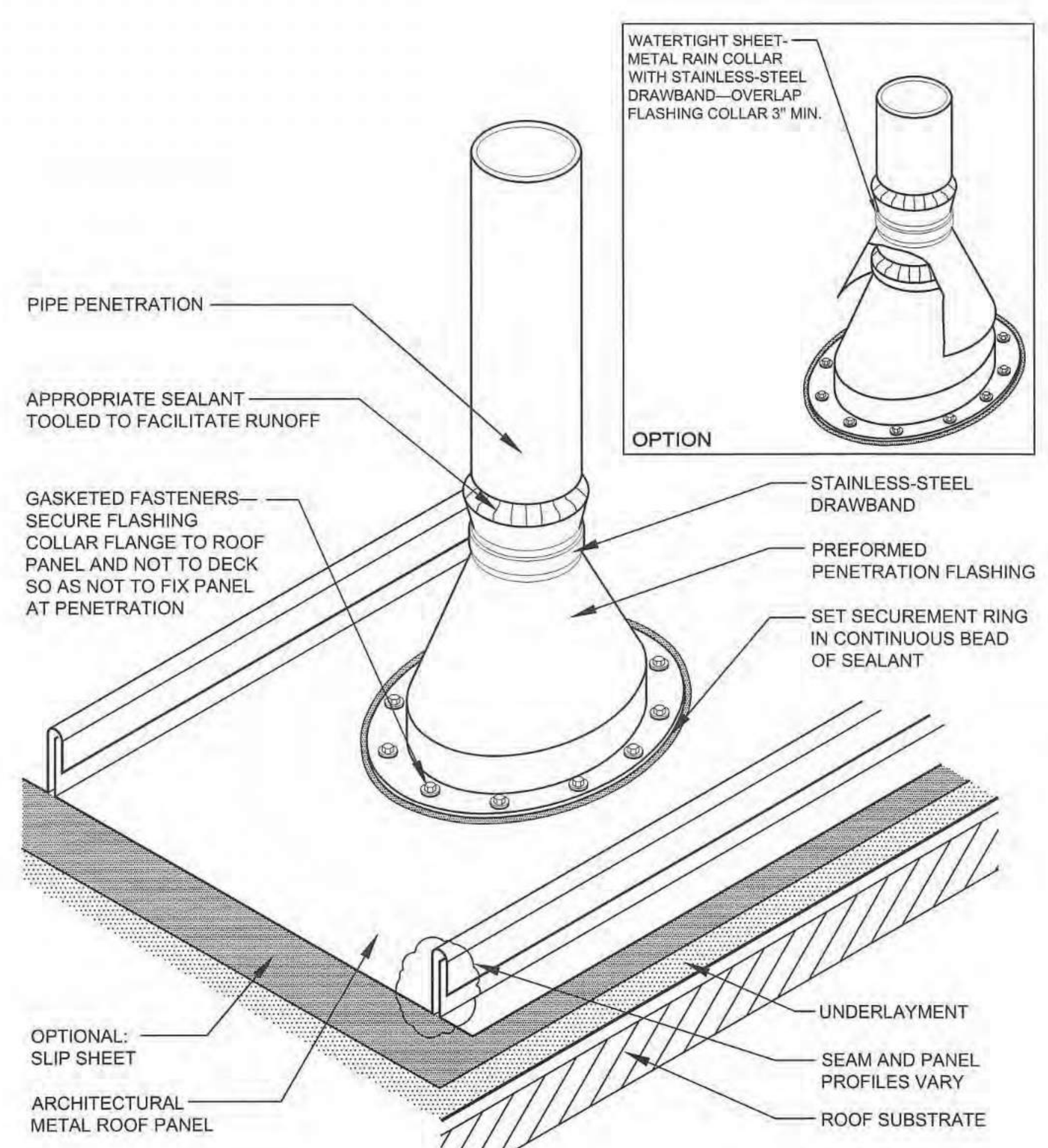


NOTES:

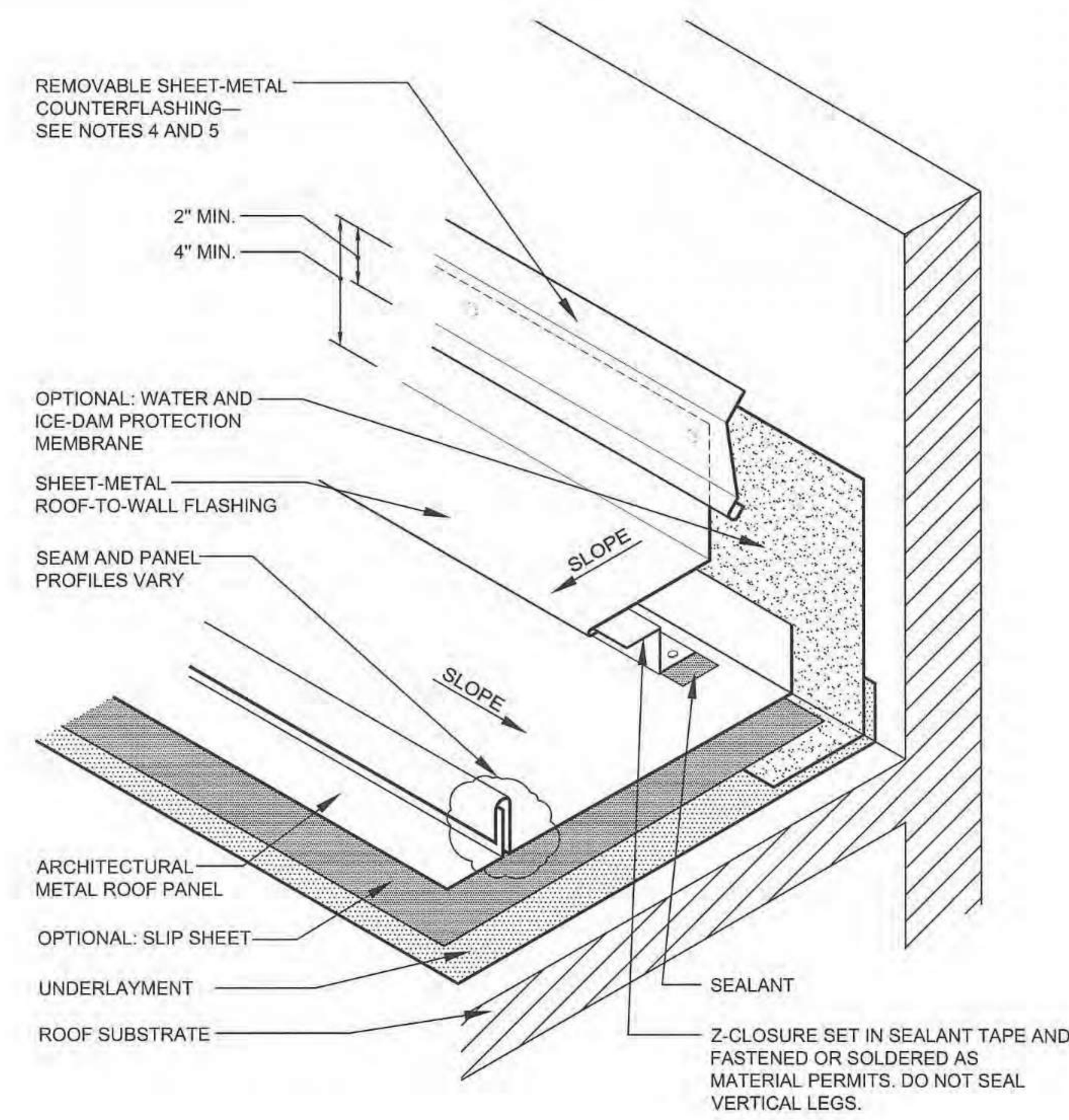
1. NRCA STRONGLY RECOMMENDS PENETRATIONS SHOULD NOT INTERFERE WITH PANEL SEAMS OR OCCUR AT TRANSVERSE SEAMS.
2. VENT STACKS AND OTHER PIPES SHOULD HAVE A MINIMUM 12 INCHES OF CLEARANCE ON ALL SIDES FROM WALLS, CURBS AND OTHER PROJECTIONS TO FACILITATE PROPER FLASHING.
3. FOR HOT PIPES, SPECIFIC HIGH-TEMPERATURE BOOTS SHOULD BE USED.
4. REFER TO THE INTRODUCTION IN CHAPTER 10—CONSTRUCTION DETAILS FOR ADDITIONAL INFORMATION.

PIPE PENETRATION FLASHING

2012 | *NOT DRAWN TO SCALE* | **AM-15A**

The NRCA Construction Details Manual 33

5 A203 **NRCA DTL - AM-15A - PIPE PENETRATION FLASHING**
NTS



NOTES:

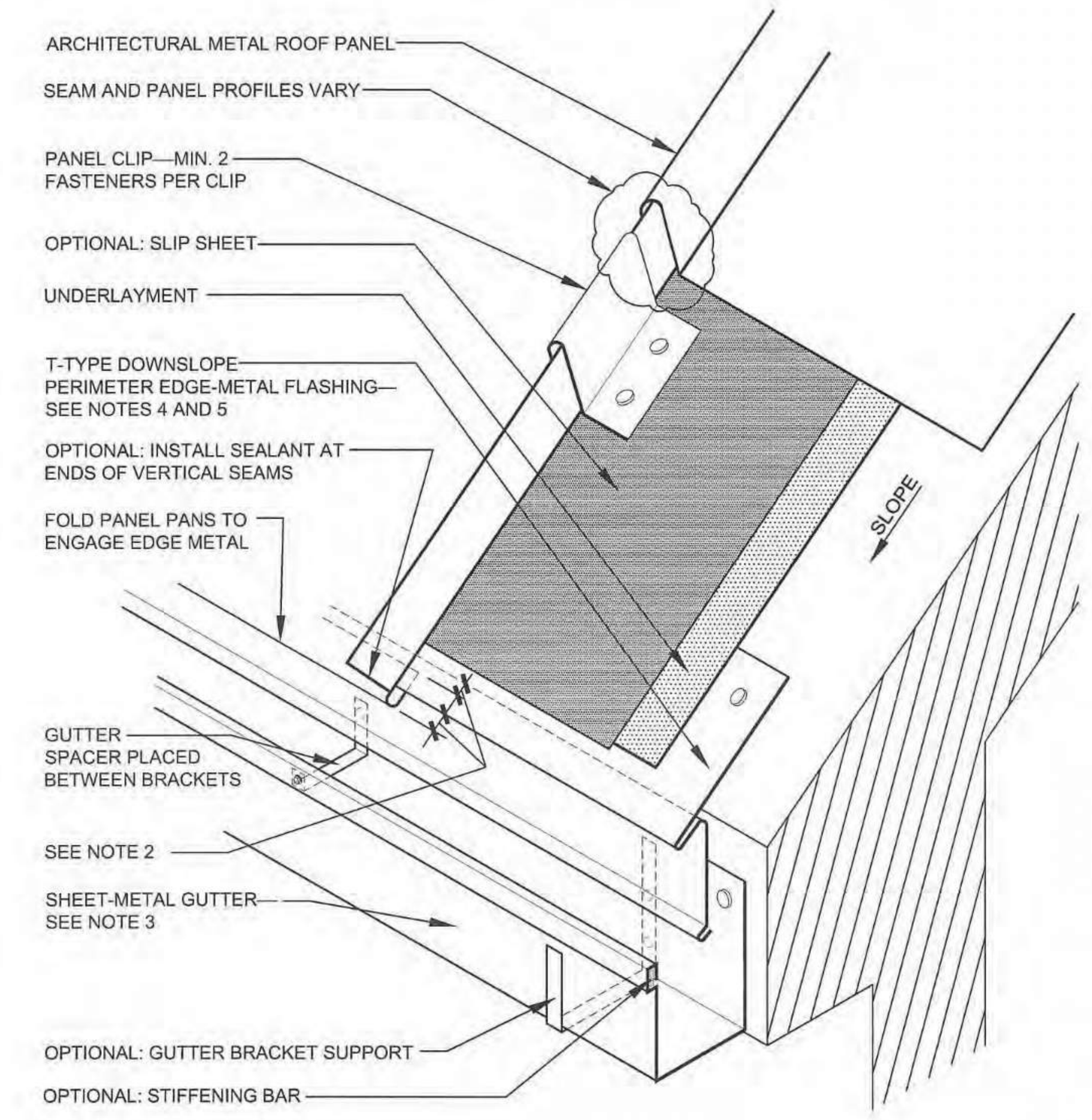
1. SPECIFIC FASTENING REQUIREMENTS ARE NOT INDICATED AS THEY VARY FROM SYSTEM TO SYSTEM DEPENDING ON PANEL MANUFACTURER'S REQUIREMENTS, WIND ZONE AND BUILDING CODE.
2. THIS DETAIL DOES NOT ALLOW FOR DIFFERENTIAL MOVEMENT BETWEEN THE DECK AND WALL.
3. THIS DETAIL MAY BE USED WITH "STARTER" AND "END" PANELS.
4. REFER TO THE ARCHITECTURAL METAL FLASHING SECTION OF THE NRCA MANUAL: ARCHITECTURAL METAL FLASHING, CONDENSATION CONTROL AND REROOFING FOR COUNTERFLASHING OPTIONS.
5. REFER TO THE INTRODUCTION IN CHAPTER 10—CONSTRUCTION DETAILS FOR ADDITIONAL INFORMATION.

ROOF-TO-WALL (SIDEWALL) TRANSITION

2012 | *NOT DRAWN TO SCALE* | **AM-11**

The NRCA Construction Details Manual 27

3 A203 **NRCA DTL - AM-11 - ROOF TO WALL (SIDEWALL) TRANSITION**
NTS



NOTES:

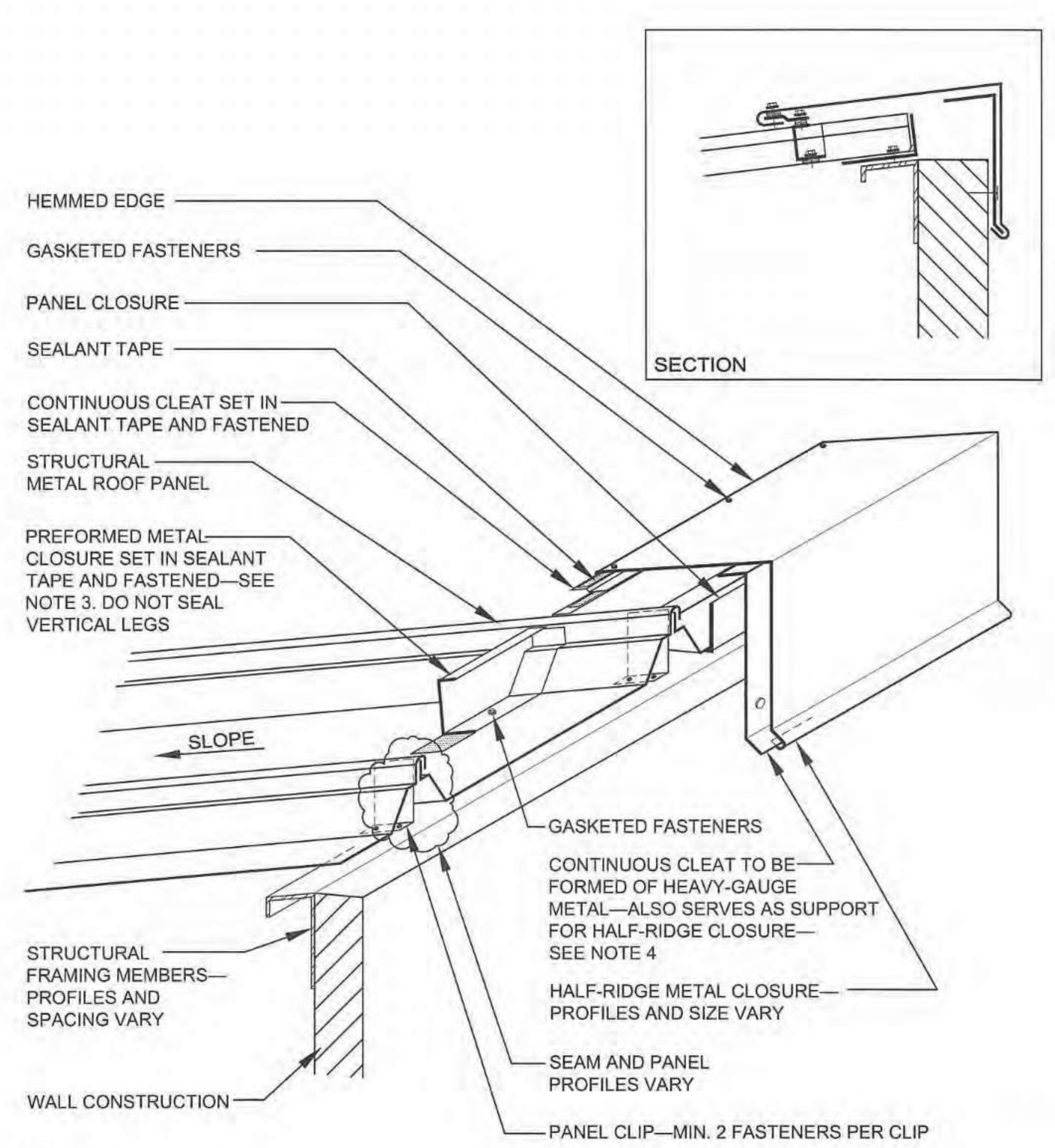
1. SPECIFIC FASTENING REQUIREMENTS ARE NOT INDICATED AS THEY VARY FROM SYSTEM TO SYSTEM DEPENDING ON PANEL MANUFACTURER'S REQUIREMENTS, WIND ZONE AND BUILDING CODE.
2. DIMENSIONS SHOULD ACCOMMODATE EXPECTED MOVEMENT.
3. REFER TO THE ARCHITECTURAL METAL FLASHING SECTION OF THE NRCA ROOFING MANUAL: ARCHITECTURAL METAL FLASHING, CONDENSATION CONTROL AND REROOFING FOR MORE INFORMATION ON GUTTERS.
4. REFER TO THE ARCHITECTURAL METAL FLASHING SECTION OF THE NRCA ROOFING MANUAL: ARCHITECTURAL METAL FLASHING, CONDENSATION CONTROL AND REROOFING FOR PERIMETER EDGE-METAL THICKNESS AND CLEAT RECOMMENDATIONS.
5. REFER TO THE INTRODUCTION IN CHAPTER 10—CONSTRUCTION DETAILS FOR ADDITIONAL INFORMATION.

EAVE WITH GUTTER

2012 | *NOT DRAWN TO SCALE* | **AM-4**

12 The NRCA Construction Details Manual

1 A203 **NRCA DTL - AM-4 - TYPICAL GUTTER DTL.**
NTS



NOTES:

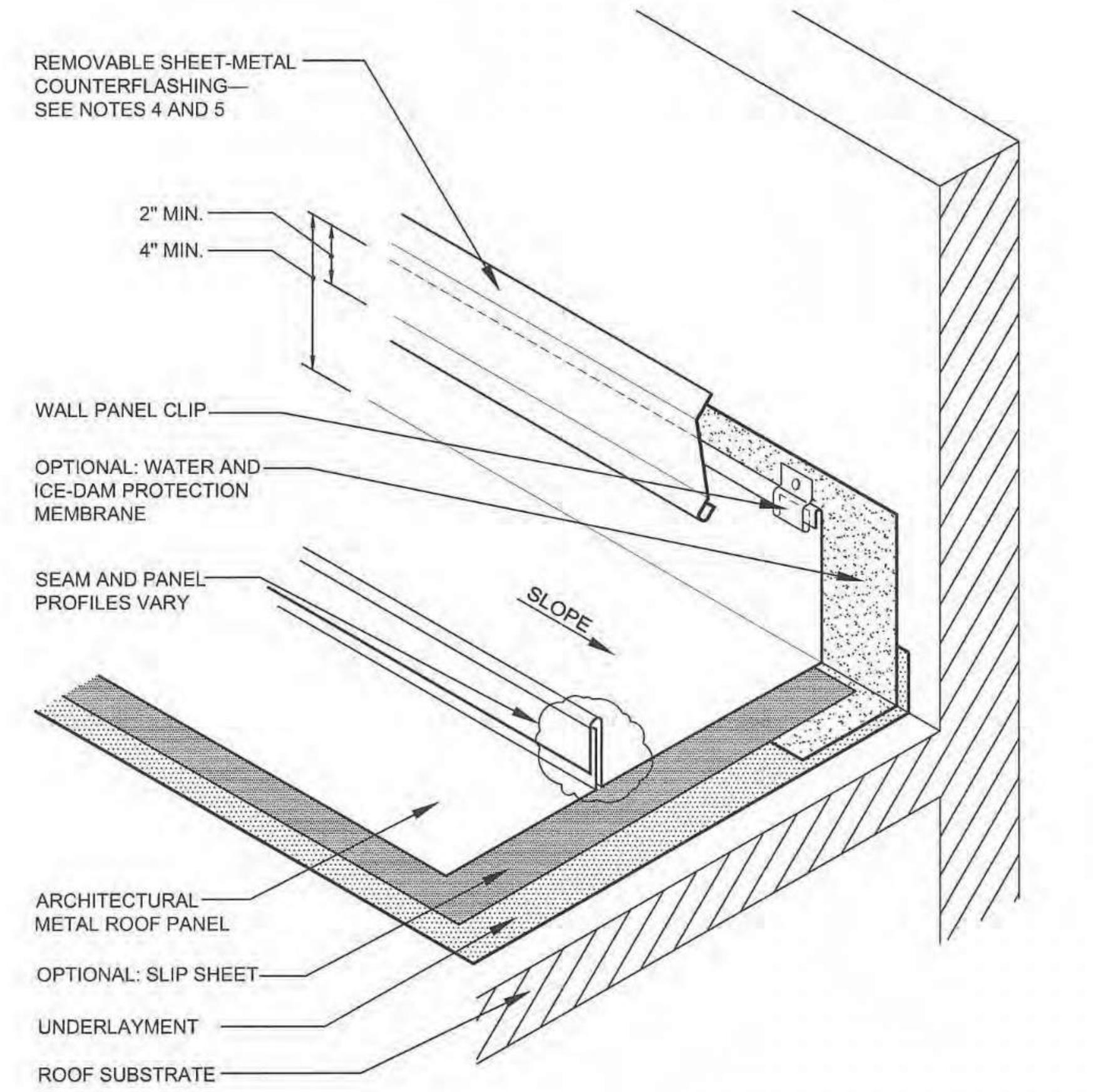
1. SPECIFIC FASTENING AND STRUCTURAL REQUIREMENTS ARE NOT INDICATED AS THEY VARY FROM SYSTEM TO SYSTEM DEPENDING ON PANEL MANUFACTURER'S REQUIREMENTS, WIND ZONE, BUILDING CODE AND WALL CONSTRUCTION.
2. INSULATION, VAPOR RETARDER AND THERMAL BLOCKS FOR ROOF SYSTEM ARE NOT SHOWN FOR CLARITY.
3. WHEN THE C-CLOSURE IS FASTENED THROUGH THE STRUCTURAL FRAMING, THIS FIXES THE PANEL ALONG THE HALF-RIDGE.
4. REFER TO THE ARCHITECTURAL METAL FLASHING SECTION OF THE NRCA ROOFING MANUAL: ARCHITECTURAL METAL FLASHING, CONDENSATION CONTROL AND REROOFING FOR PERIMETER EDGE-METAL THICKNESS AND CLEAT RECOMMENDATIONS.
5. REFER TO THE INTRODUCTION IN CHAPTER 10—CONSTRUCTION DETAILS FOR ADDITIONAL INFORMATION.

HALF-RIDGE CAP FLASHING

2012 | *NOT DRAWN TO SCALE* | **STM-7**

The NRCA Construction Details Manual 51

6 A203 **NRCA DTL - STM-7 - HALF-RIDGE CAP FLASHING**
NTS



NOTES:

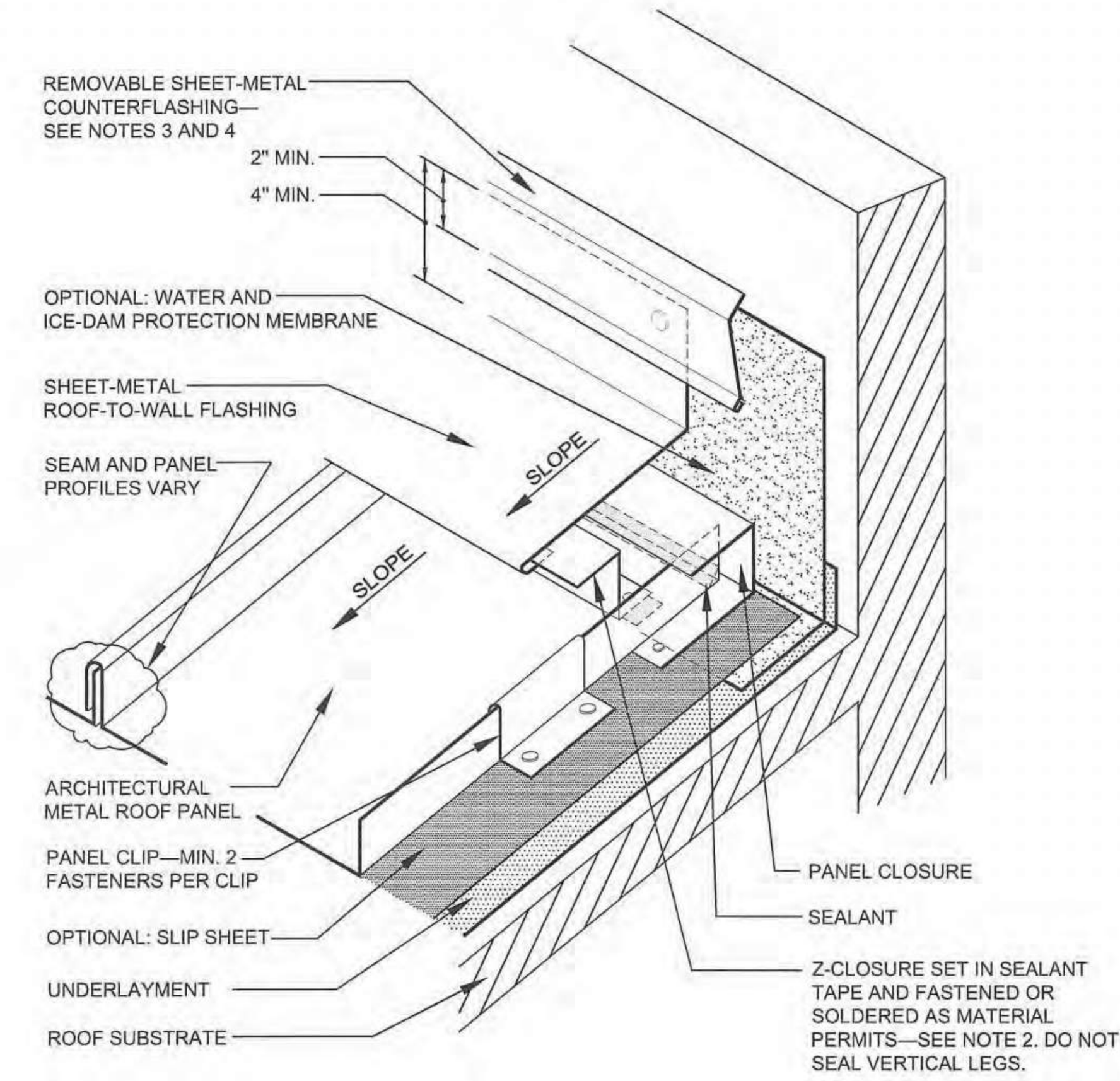
1. SPECIFIC FASTENING REQUIREMENTS ARE NOT INDICATED AS THEY VARY FROM SYSTEM TO SYSTEM DEPENDING ON PANEL MANUFACTURER'S REQUIREMENTS, WIND ZONE AND BUILDING CODE.
2. THIS DETAIL DOES NOT ALLOW FOR DIFFERENTIAL MOVEMENT BETWEEN THE DECK AND WALL.
3. THIS DETAIL MAY BE USED WITH "STARTER" AND "END" PANELS.
4. REFER TO THE ARCHITECTURAL METAL FLASHING SECTION OF THE NRCA MANUAL: ARCHITECTURAL METAL FLASHING, CONDENSATION CONTROL AND REROOFING FOR COUNTERFLASHING OPTIONS.
5. REFER TO THE INTRODUCTION IN CHAPTER 10—CONSTRUCTION DETAILS FOR ADDITIONAL INFORMATION.

ROOF-TO-WALL (SIDEWALL) TRANSITION

2012 | *NOT DRAWN TO SCALE* | **AM-11A**

28 The NRCA Construction Details Manual

4 A203 **NRCA DTL - AM-11A - ROOF TO WALL (SIDEWALL) TRANSITION**
NTS



NOTES:

1. SPECIFIC FASTENING REQUIREMENTS ARE NOT INDICATED AS THEY VARY FROM SYSTEM TO SYSTEM DEPENDING ON PANEL MANUFACTURER'S REQUIREMENTS, WIND ZONE AND BUILDING CODE.
2. IF THE Z-CLOSURE IS FASTENED THROUGH THE ROOF DECK, THE PANELS ARE FIXED ALONG THE HEADWALL. IF THE Z-CLOSURE IS FASTENED TO THE PANELS WITH POP RIVETS OR SOLDERED, THE PANELS ARE NOT FIXED AT THE HEADWALL (I.E., FLOATING).
3. REFER TO THE ARCHITECTURAL METAL FLASHING SECTION OF THE NRCA ROOFING MANUAL: ARCHITECTURAL METAL FLASHING, CONDENSATION CONTROL AND REROOFING FOR COUNTERFLASHING OPTIONS.
4. REFER TO THE INTRODUCTION IN CHAPTER 10—CONSTRUCTION DETAILS FOR ADDITIONAL INFORMATION.

ROOF-TO-WALL (HEADWALL) TRANSITION

2012 | *NOT DRAWN TO SCALE* | **AM-10A**

26 The NRCA Construction Details Manual

2 A203 **NRCA DTL- AM-10A - ROOF TO WALL (HEADWALL) TRANSITION**
NTS

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THE FIRST MOUNTAIN CITY
JASPER GEORGIA
1857

PROJECT INFORMATION

Project Number
16526.00

Client Name
City of Jasper

Project Name
Fire Station Addition

Project Address
277 Burton Street - Jasper, Georgia 30143

PROJECT ISSUE & REVISION SCHEDULE

##	Date	Description

PROFESSIONAL STAMPS

STATE OF GEORGIA
KENNETH SCOTT GORDON
6/30/22
REGISTERED ARCHITECT

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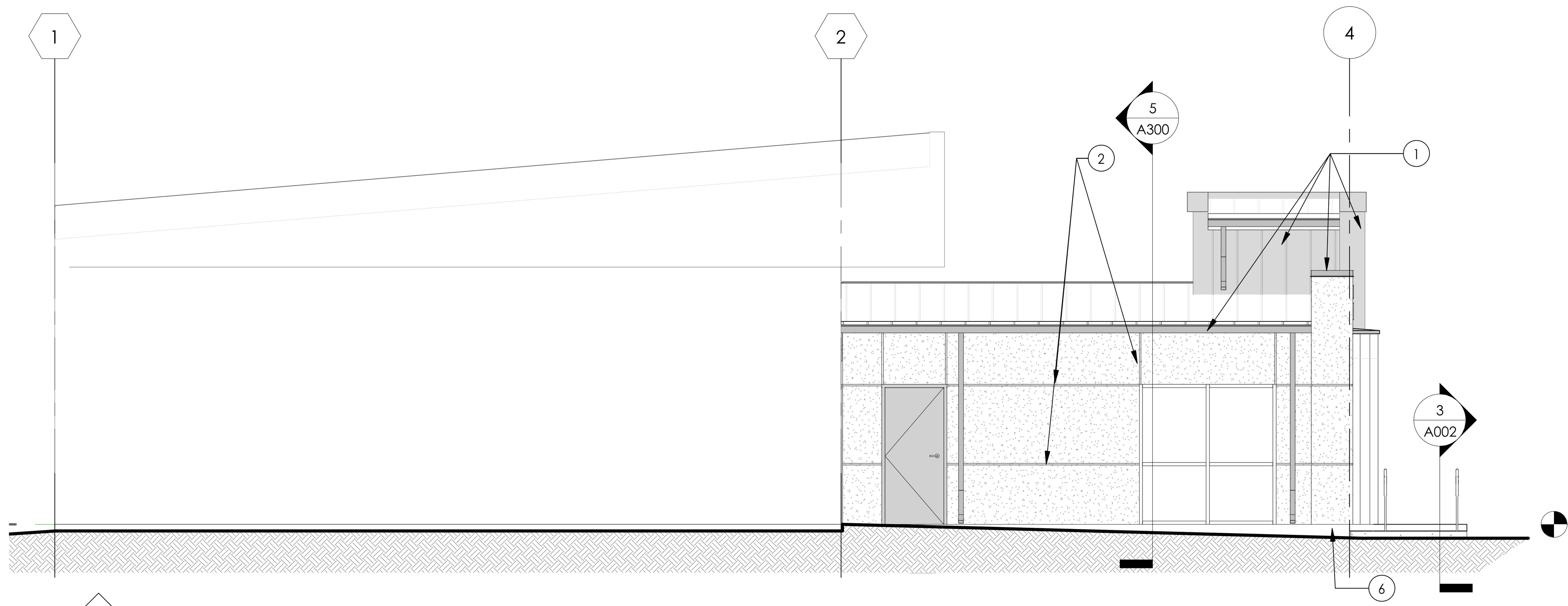
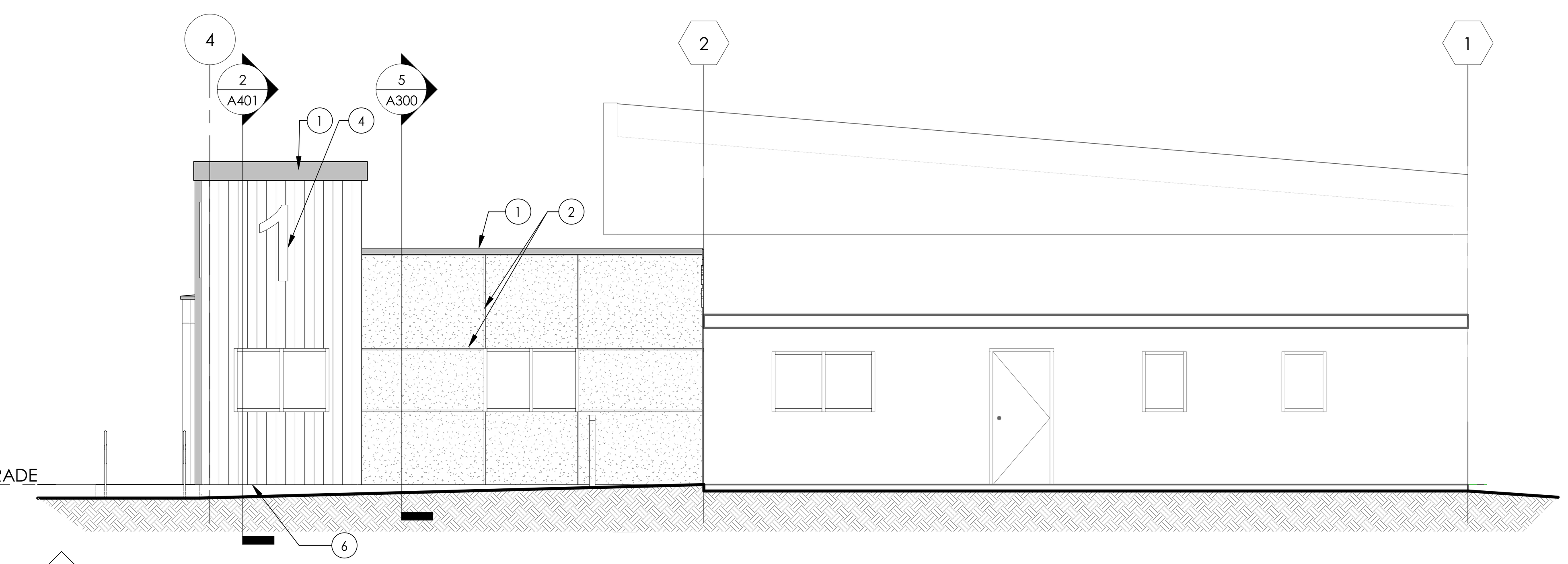
NRCA METAL ROOF DETAILS

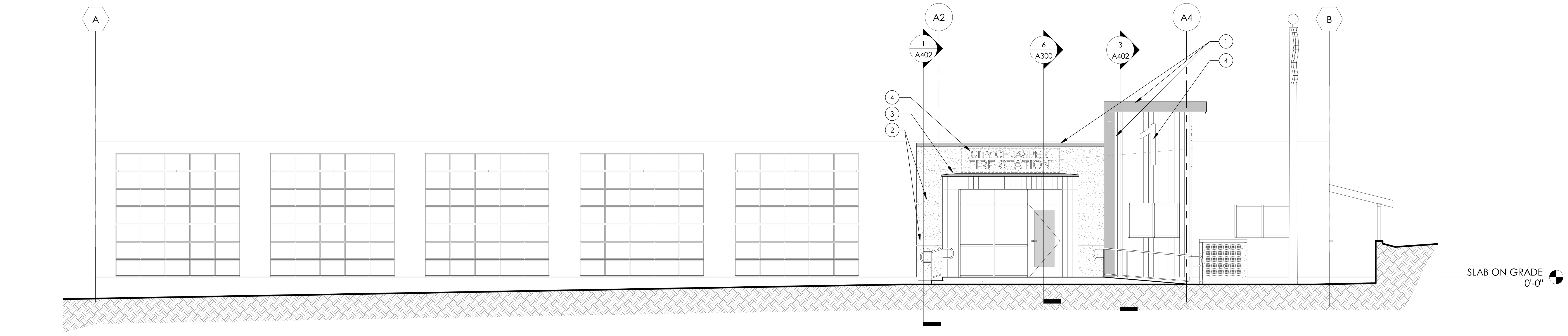
Drawing Number
A203



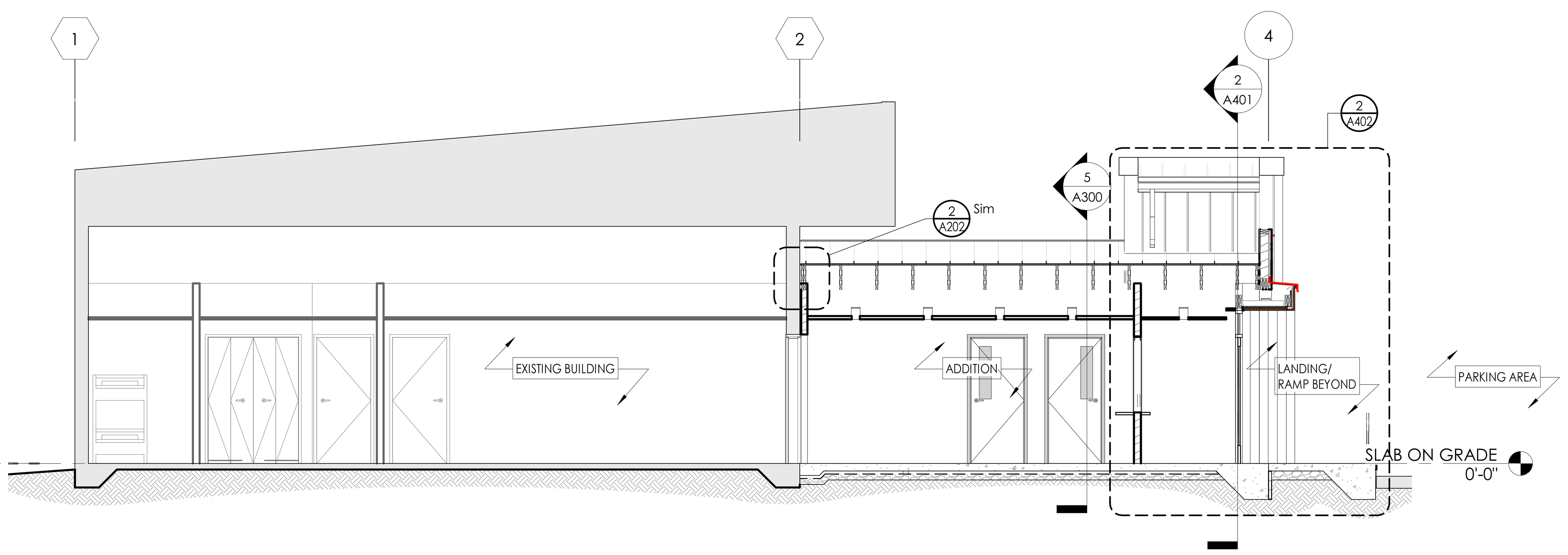
1 A300 **ELEVATION - SOUTH**
3/16" = 1'-0"



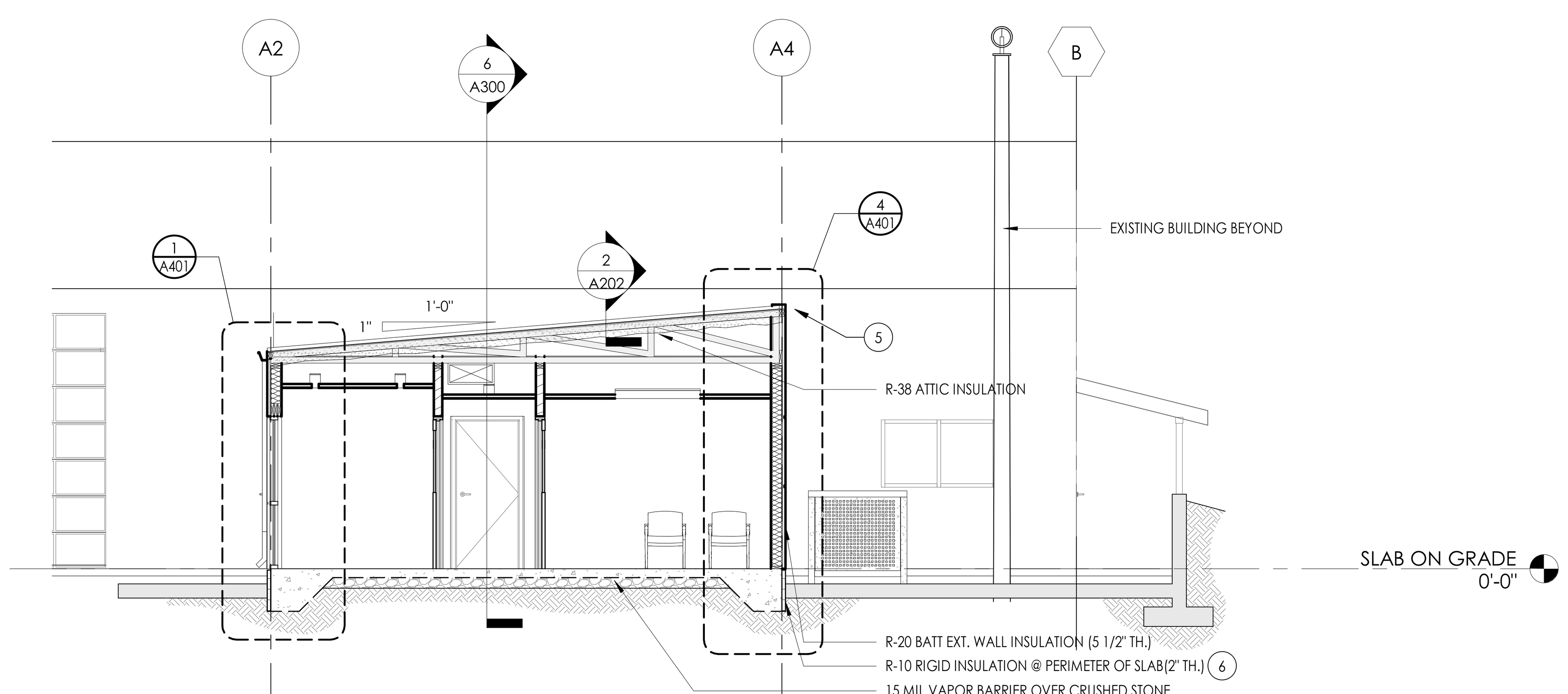
2 A300 **ELEVATON - NORTH**
3/16" = 1'-0"



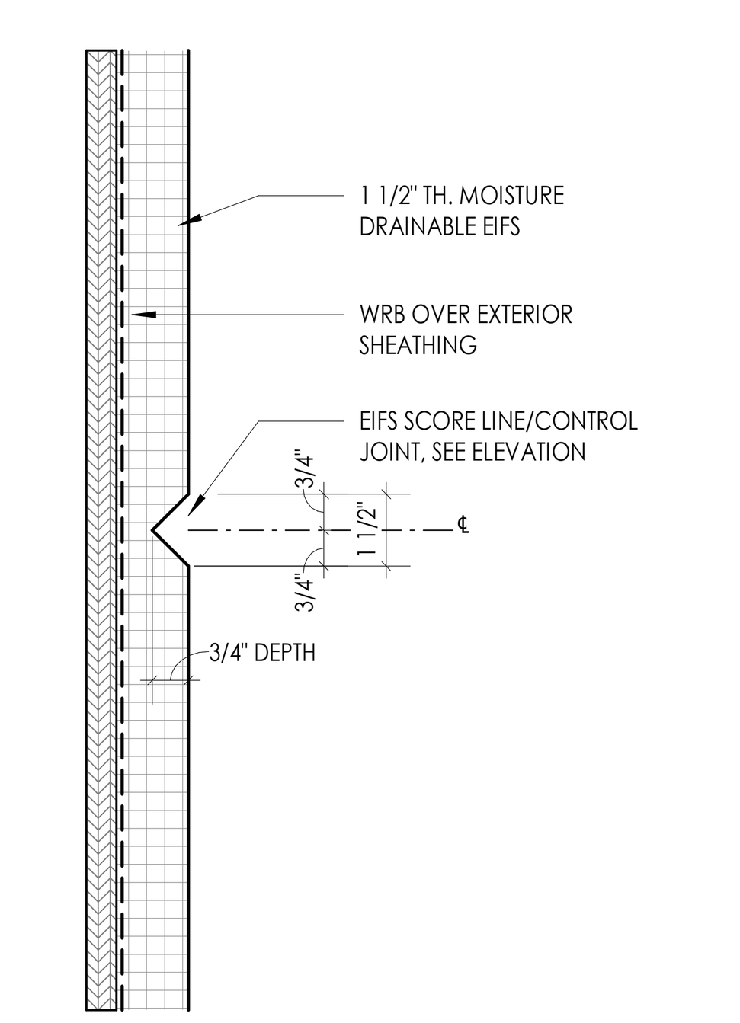
4 A300 **ELEVATION - EAST**
3/16" = 1'-0"



6 A300 **EXISTING - ADDITION BUILDING SECTION - EAST/WEST DIRECTION**
3/16" = 1'-0"



5 A300 **TYPICAL ADDITION SECTION - NORTH/SOUTH DIRECTION**
3/16" = 1'-0"



3 A300 **TYP. EIFS REVEAL - VERT. / HORIZONTAL**
3" = 1'-0"

ELEVATION GENERAL NOTES

1. ALL DRAWINGS ARE GRAPHIC REPRESENTATIONS OF APPROXIMATE LOCATIONS OF EXISTING AND NEW MATERIALS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK.
2. REFER TO **A900'S** DRAWINGS FOR DOOR, FRAME, AND WINDOW TYPES.
3. PROVIDE ALL LOUVER OPENINGS AS REQUIRED. COORDINATE WITH MECHANICAL CONTRACTOR FOR FINAL SIZE AND LOCATION.
4. ARCHITECTURAL ELEVATION 0' -0" EQUALS FINISH FLOOR OF EXISTING BUILDING & ADDITION
5. CONTROL JOINT = CJ
6. SOFT JOINT = SJ
7. EXPANSION JOINT = EJ
8. BUILDING EXPANSION JOINT = BEJ

ELEVATION LEGEND

EIFS FINISH
1 1/2" MOISTURE DRAINABLE EIFS SYSTEM EQ. TO STO THERM ci OVER AIR BARRIER ON 1/2" EXTERIOR SHEATHING PER STRUCTURAL DWGS OVER 2x STUD WALL FRAMING.
COLOR: TBD.

WOOD - LOOK RAINSCREEN WALL FINISH
EQ. TO FIBERON WILDWOOD 3/4"x5 1/2" COMPOSITE CLADDING w/ 1/8" OPEN GAPS.
INSTALL OVER DRAINABLE HORIZONTAL FURRING STRIPS EQ. TO COR-A-VENT 7/16"TH. x 1 1/2"H STURDI-BATTENS @ 16" O.C.
INSTALL CONTINUOUS INSECT SCREEN AT BASE OF WALL & TOP OF WALL EQ. TO COR-A-VENT SV-3 BATTENS.
INSTALL OVER BLACK UV RESISTANT AIR BARRIER EQ. TO BENJAMIN OBDYKE INVISIWRAP UV BLACK HOUSEWRAP.
OVER 1/2" EXTERIOR SHEATHING PER STRUCTURAL DWGS OVER 2x STUD WALL FRAMING.
COLOR: TBD.

METAL ACCENT/TRIM
PREFINISHED METAL COPING/WALL PANEL/BREAKMETAL TRIM TO MATCH BUILDING DARK GRAY METAL COLOR

ELEVATION KEY NOTES

1. PREFINISHED METAL TRIM/COPING/GUTTER/D.S./ETC. TO MATCH COLOR OF DARK GRAY EXISTING METAL PANELS
2. EIFS SCORE LINE, SEE DETAIL 3 / A300
3. PREFINISHED FABRICATED METAL CAP/SHROUD TO MATCH COLOR OF WALL FINISH BELOW
4. ILLUMINATED PREFINISHED ALUMINUM HALO TYPE SIGNAGE SHOWN FOR REF. (SIGNAGE TO BE SUBMITTED UNDER SEPARATE PERMIT) PROVIDE POWER & BLOCKING IN WALL
5. GC TO VERIFY CLEARANCE & FEASIBILITY OF ADDITION ROOF INSTALLATION UNDER EXISTING OVERHANG. SEE NOTES ON DETAIL 2/A100 IN THIS AREA.
6. FINISH EXPOSED PERIMETER SLAB INSULATION w/ PRODUCT EQ. TO STYRO INDUSTRIES TUFF II COATING TO 6" BELOW GRADE. COLOR TO MATCH EIFS SYSTEM.

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PROJECT INFORMATION

Project Number
16526.00

Client Name
City of Jasper

Project Name
Fire Station Addition

Project Address
277 Burton Street - Jasper, Georgia 30143

PROJECT ISSUE & REVISION SCHEDULE

vv	Date	Description

PROFESSIONAL STAMPS

STATE OF GEORGIA
KENNETH SCOTT GORDON
6/30/22
REGISTERED ARCHITECT

SHEET INFORMATION

Issued	Scale
07/01/22	As indicated

Project Status
ISSUE FOR CONSTRUCTION

Drawn By	Checked By
CPL	CPL

Drawing Title
EXTERIOR ELEVATIONS & OVERALL BUILDING SECTIONS

Drawing Number
A300

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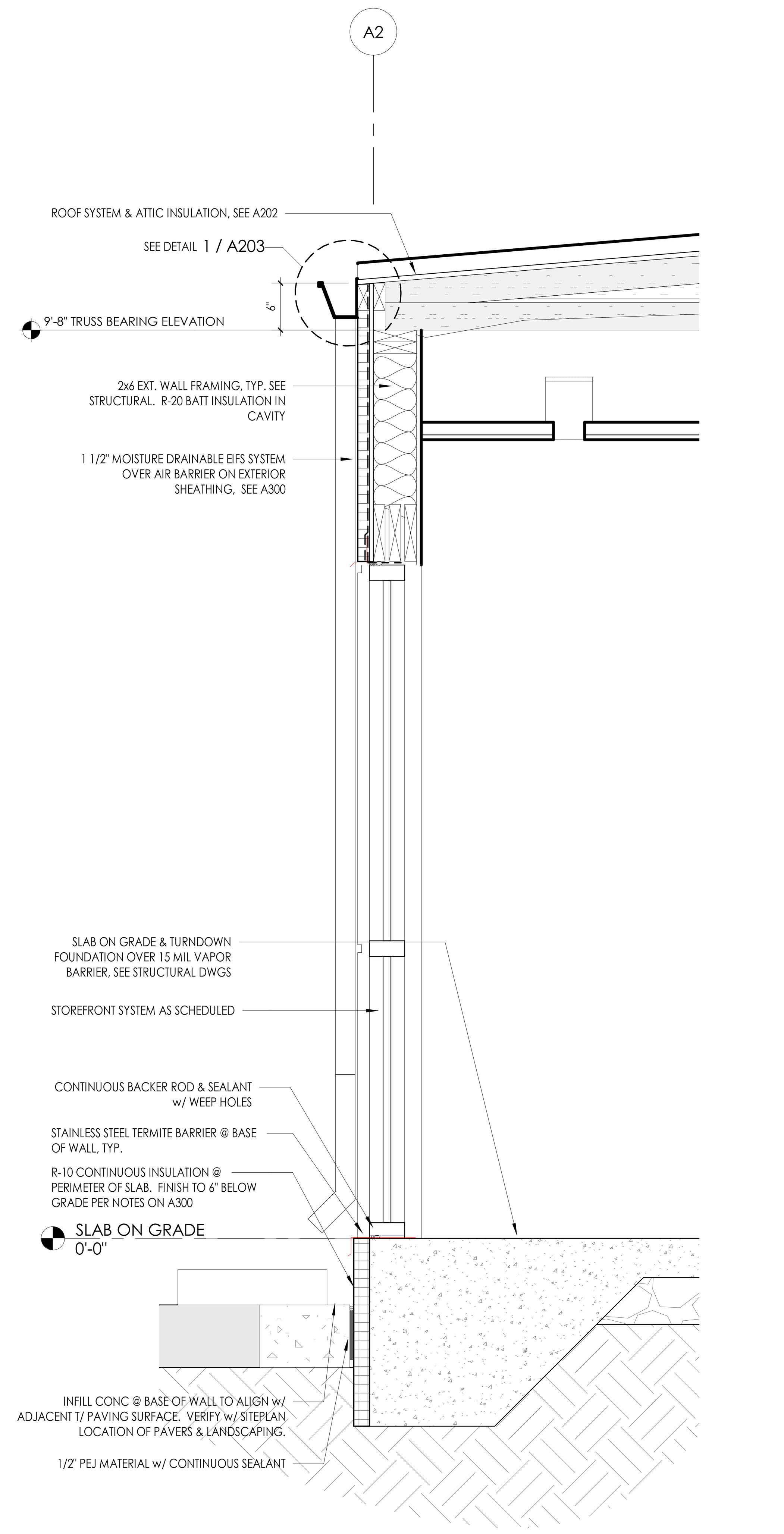
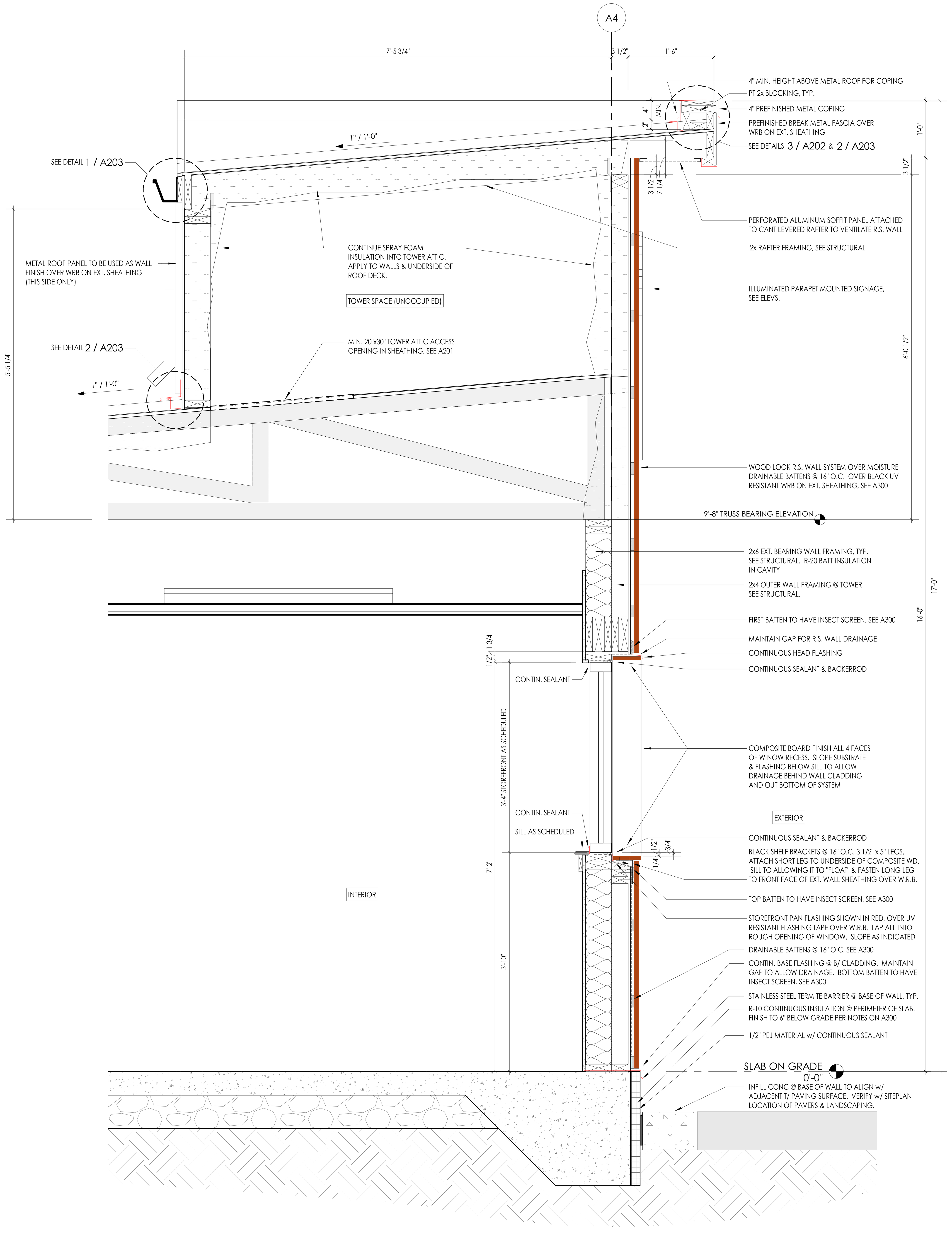


1 / A401 **ADDITION SOUTH FACADE SECTION - TYPICAL CONDTION**
1" = 1'-0"



2 / A401 **ADDITION NORTH FACADE SECTION - TOWER WALL**
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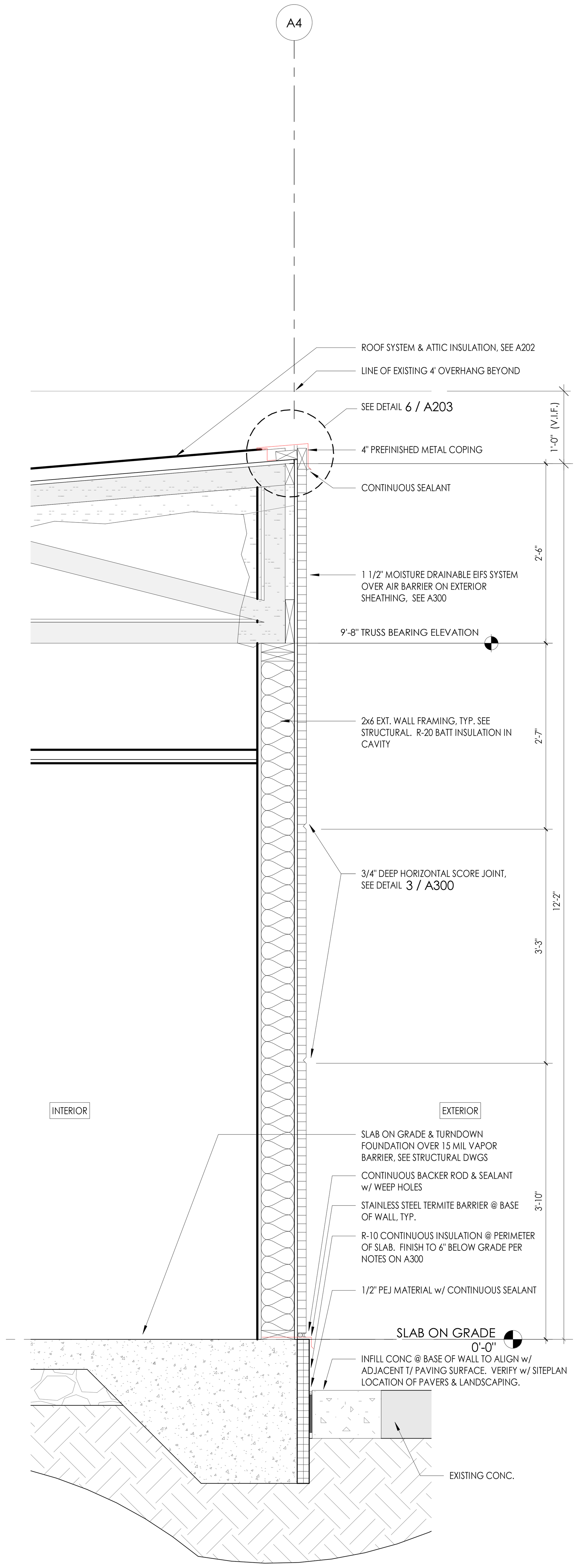

4 / A401 **ADDITION NORTH FACADE SECTION - TYPICAL CONDITION**
1" = 1'-0"

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THE FIRST MOUNTAIN CITY JASPER GEORGIA 1857

PROJECT INFORMATION

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Client Name
City of Jasper

Project Name
Fire Station Addition

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277 Burton Street - Jasper, Georgia 30143

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PROFESSIONAL STAMPS

STATE OF GEORGIA
KENNETH SCOTT GORDON
6/30/22
REGISTERED ARCHITECT

SHEET INFORMATION

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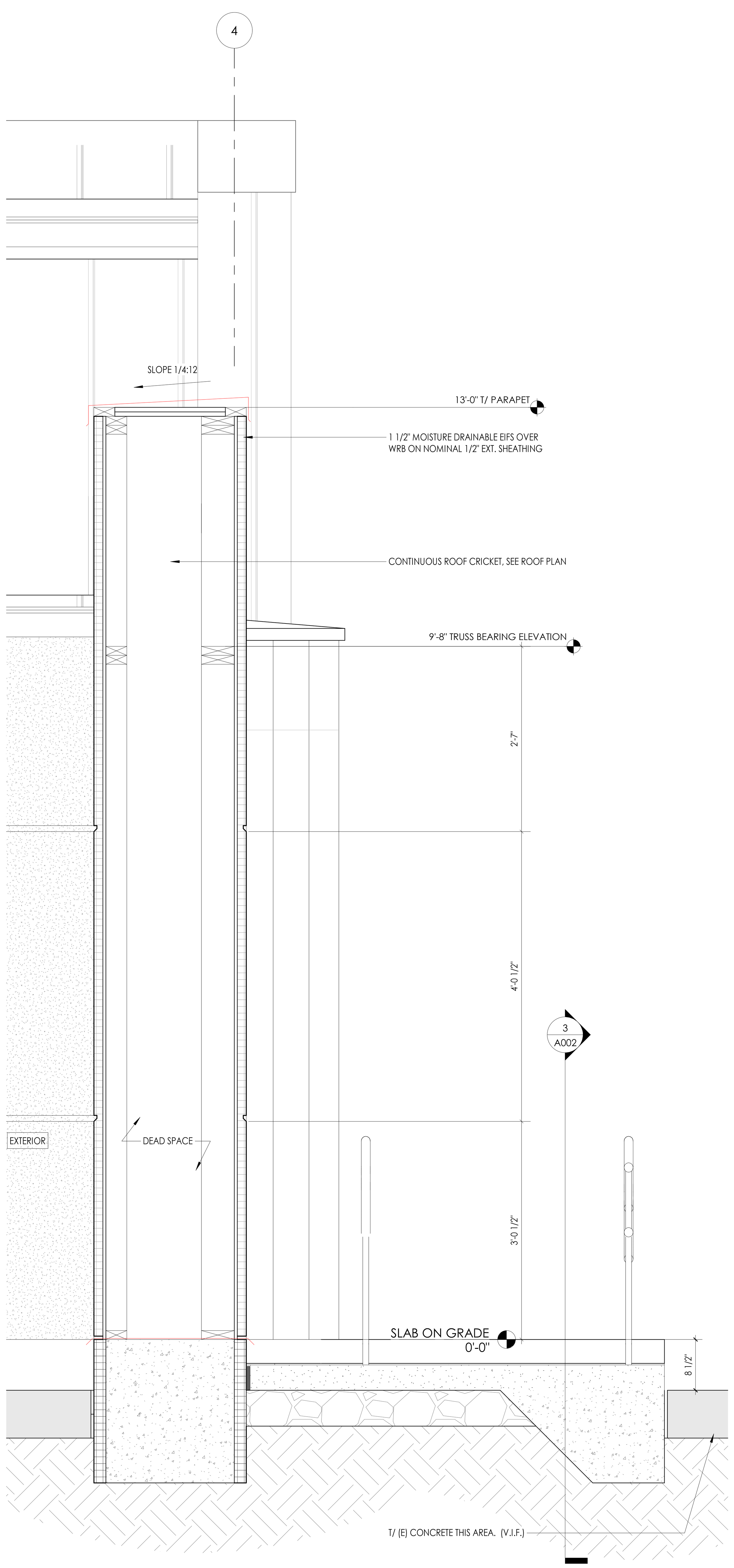
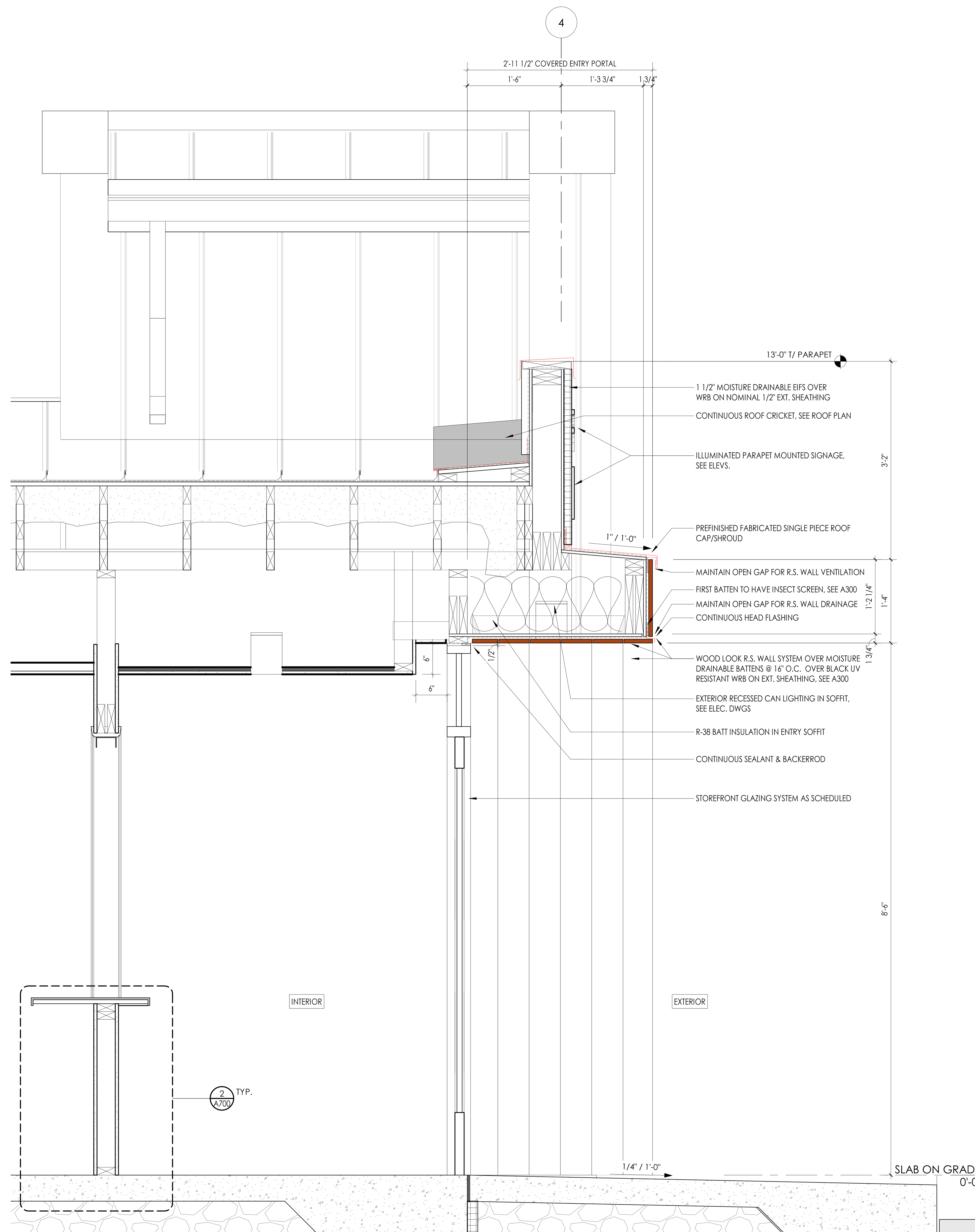
Project Status: ISSUE FOR CONSTRUCTION	
Drawn By: Author	Checked By: Checker

Drawing Title
ADDITION EXT. WALL SECTIONS - NORTH/SOUTH FACADES

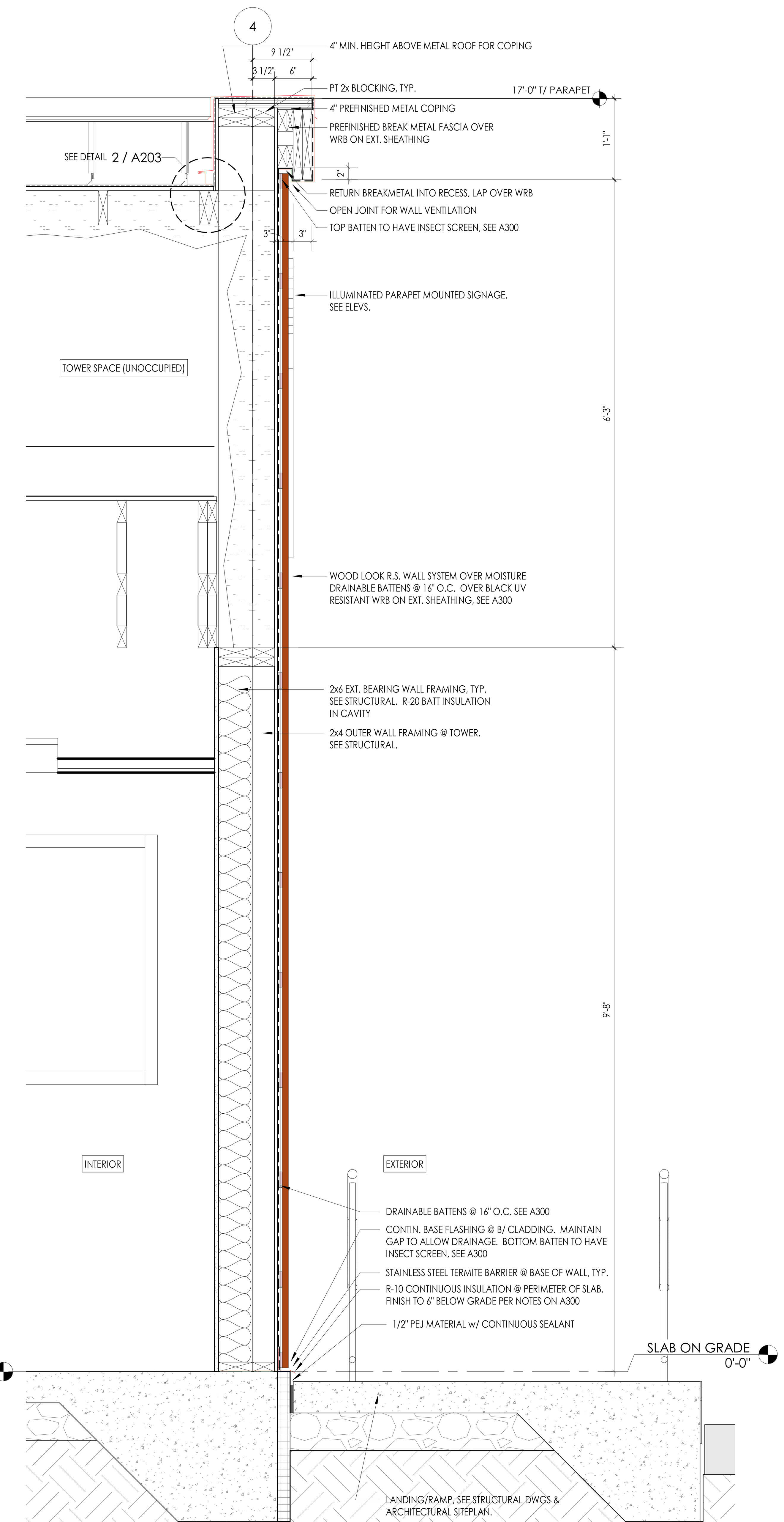
Drawing Number
A401



1 ADDITION EAST FACADE SECTION - EIFS WALL
A402 1" = 1'-0"



2 ADDITION EAST FACADE SECTION - PORTAL ENTRY FEATURE
A402 1" = 1'-0"



3 ADDITION EAST FACADE SECTION - TOWER WALL
A402 1" = 1'-0"

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THE FIRST MOUNTAIN CITY
JASPER
GEORGIA
1857

PROJECT INFORMATION

Project Number
16526.00

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City of Jasper

Project Name
Fire Station Addition

Project Address
277 Burton Street - Jasper, Georgia 30143

PROJECT ISSUE & REVISION SCHEDULE

vv	Date	Description

PROFESSIONAL STAMPS

STATE OF GEORGIA
KENNETH
SCOTT GORDON
6/30/22
REGISTERED ARCHITECT

SHEET INFORMATION

Issued: 07/01/22
Scale: 1" = 1'-0"

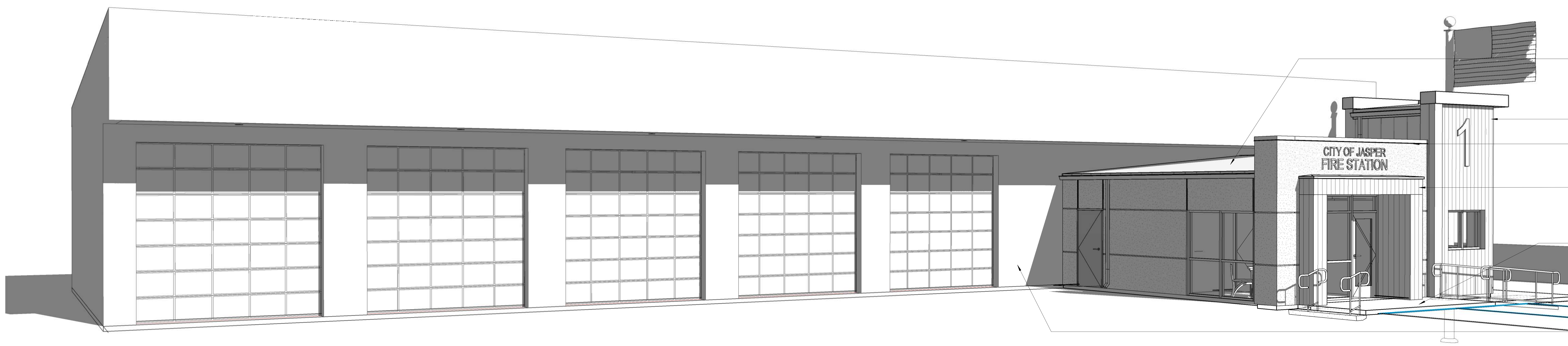
Project Status
ISSUE FOR CONSTRUCTION

Drawn By: Author
Checked By: Checker

Drawing Title
ADDITION EXT. WALL SECTIONS - EAST FACADE

Drawing Number
A402

3D VIEWS FOR REFERENCE ONLY.
SEE OTHER SHEETS FOR EXACT
CONSTRUCTION DETAILS & REQUIREMENTS.



2 A500 **SE CORNER VIEW FROM BURTON ST.**

1 A500 **NE CORNER VIEW FROM BURTON ST**

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THE FIRST MOUNTAIN CITY
JASPER GEORGIA
1857

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City of Jasper

Project Name
Fire Station Addition

Project Address
277 Burton Street - Jasper, Georgia 30143

PROJECT ISSUE & REVISION SCHEDULE

##	Date	Description

PROFESSIONAL STAMPS

STATE OF GEORGIA
KENNETH SCOTT GORDON
6/30/22
CERTIFICATE NO. RA010295
REGISTERED ARCHITECT

SHEET INFORMATION

Issued: 07/01/22
Scale:

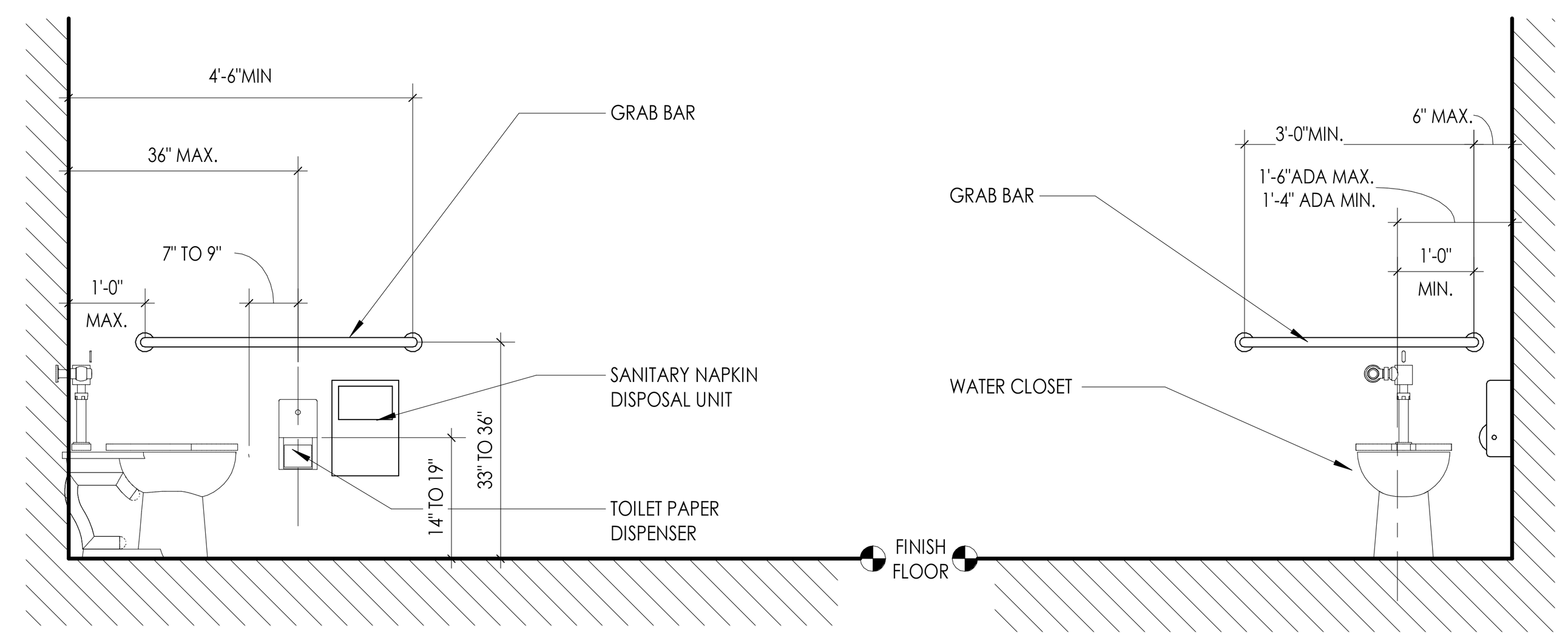
Project Status: ISSUE FOR CONSTRUCTION

Drawn By: CPL
Checked By: CPL

Drawing Title: EXTERIOR VIEWS

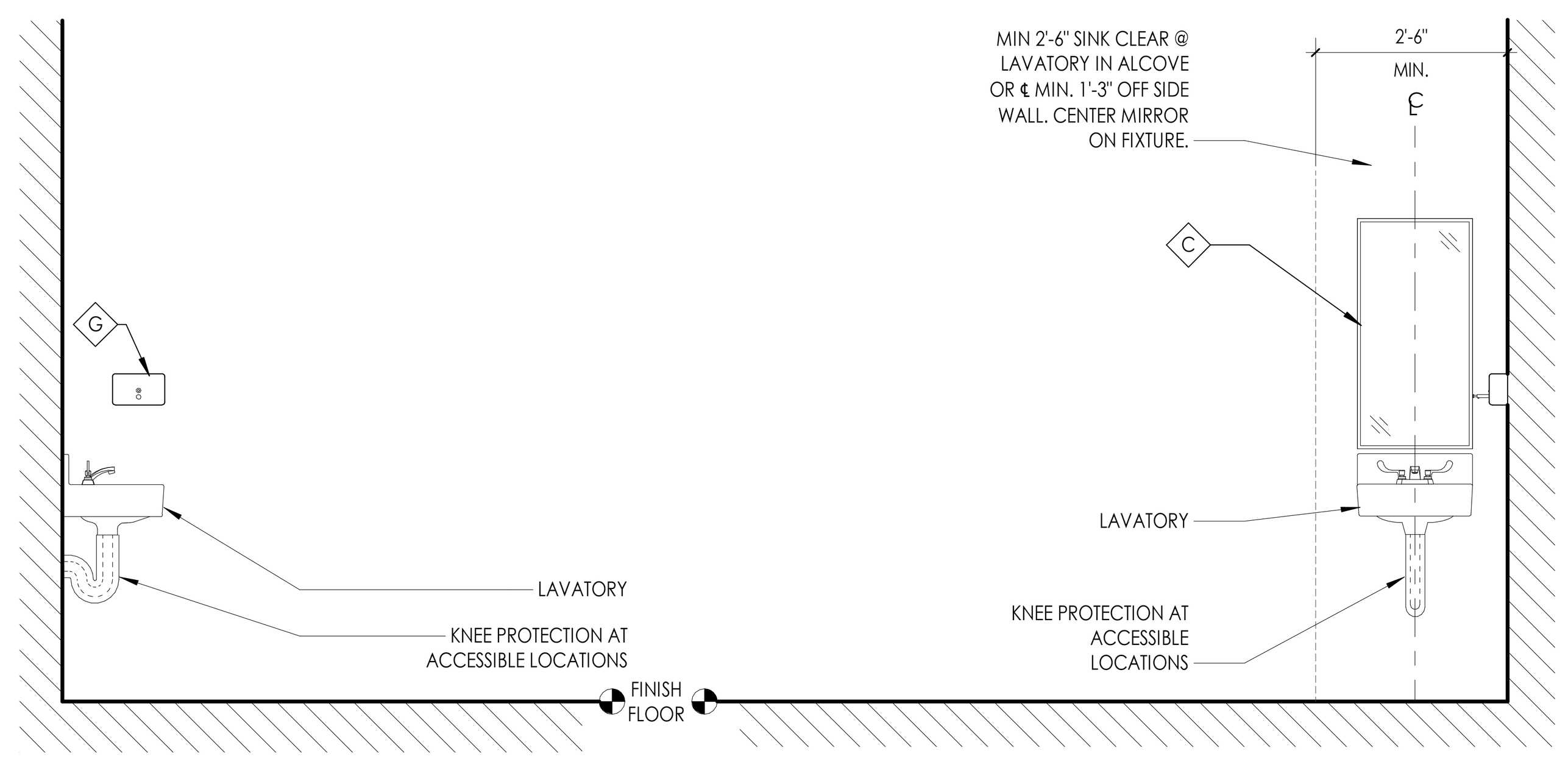
Drawing Number:
A500

TYPICAL TOILET AND SHOWER ACCESSORY LOCATIONS



LOCATION AT TOILET

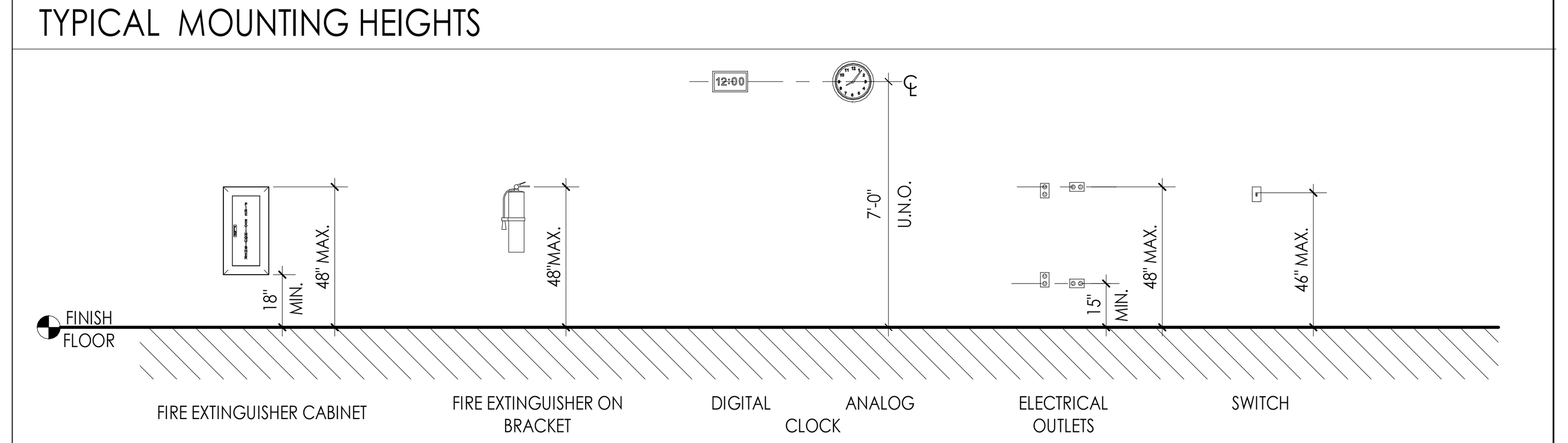
SCALE 1/2"=1'-0" (REF. ABOVE FOR TYP. HEIGHTS)



LOCATION AT SINK

SCALE 1/2"=1'-0" (REF. ABOVE FOR TYP. HEIGHTS)

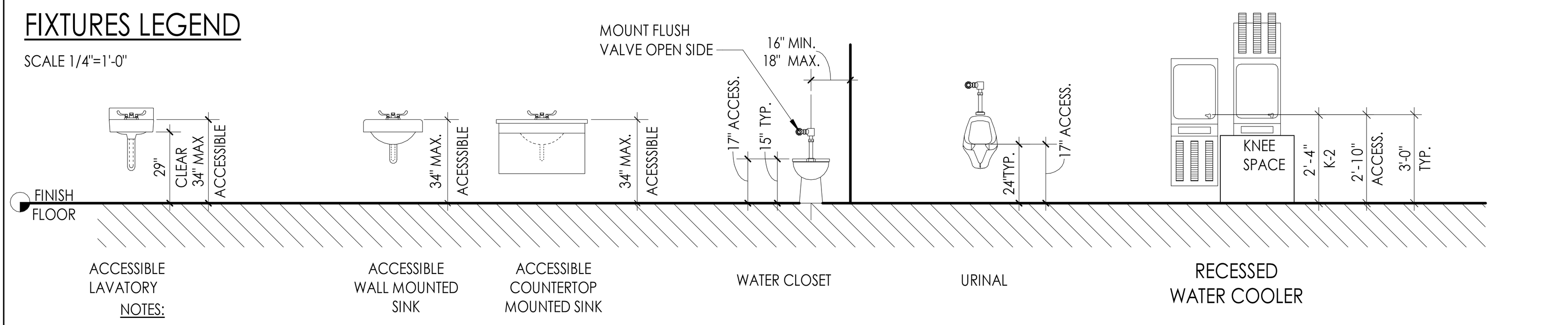
TYPICAL MOUNTING HEIGHTS



PLUMBING FIXTURE LEGEND WITH MOUNTING HEIGHTS

FIXTURES LEGEND

SCALE 1/4"=1'-0"



NOTES:

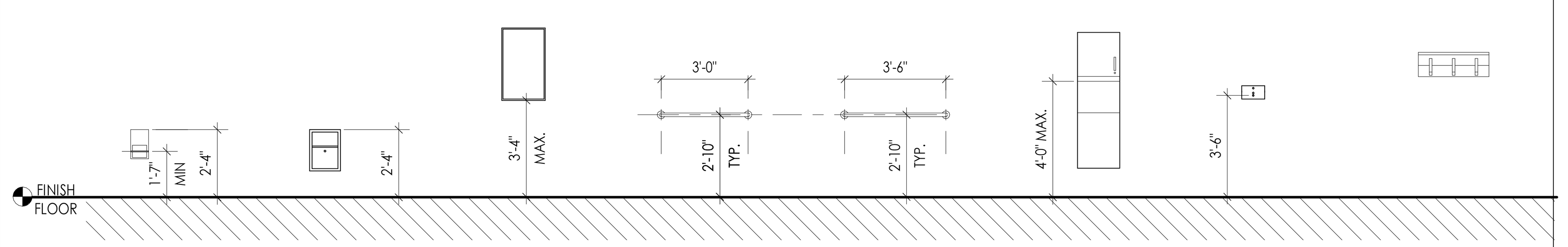
1. DIMENSIONS REFLECT MOUNTING HEIGHT ABOVE FINISH FLOOR
2. REFER TO FLOOR PLANS FOR APPROPRIATE LOCATION FOR FIXTURES.
3. KNEE PROTECTION AT ALL ACCESSIBLE SINKS.

TOILET ACCESSORY LEGEND

SCALE: 1/4" = 1'-0"

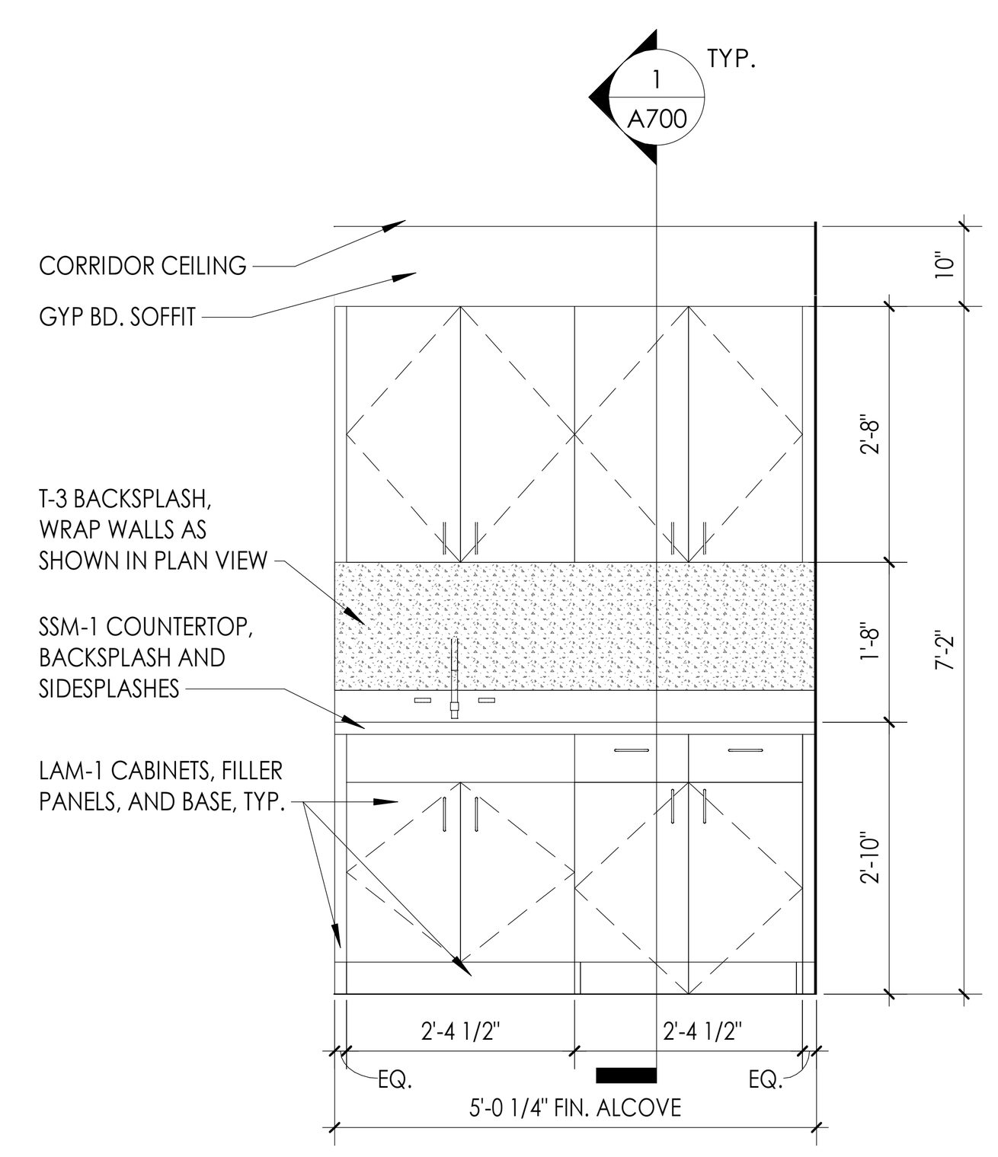
NOTES:

1. DIMENSIONS REFLECT MOUNTING HEIGHT ABOVE FINISH FLOOR
2. REFER TO EQUIPMENT PLANS AND INTERIOR ELEVATIONS FOR APPROPRIATE LOCATION FOR ACCESSORIES.
3. THIS LEGEND MAY CONTAIN ACCESSORIES THAT ARE NOT SPECIFIED TO BE INCLUDED IN THIS PROJECT.
4. PROVIDE 2x6 BLOCKING IN WALL AT ALL WALL MOUNTED FIXTURE LOCATIONS.

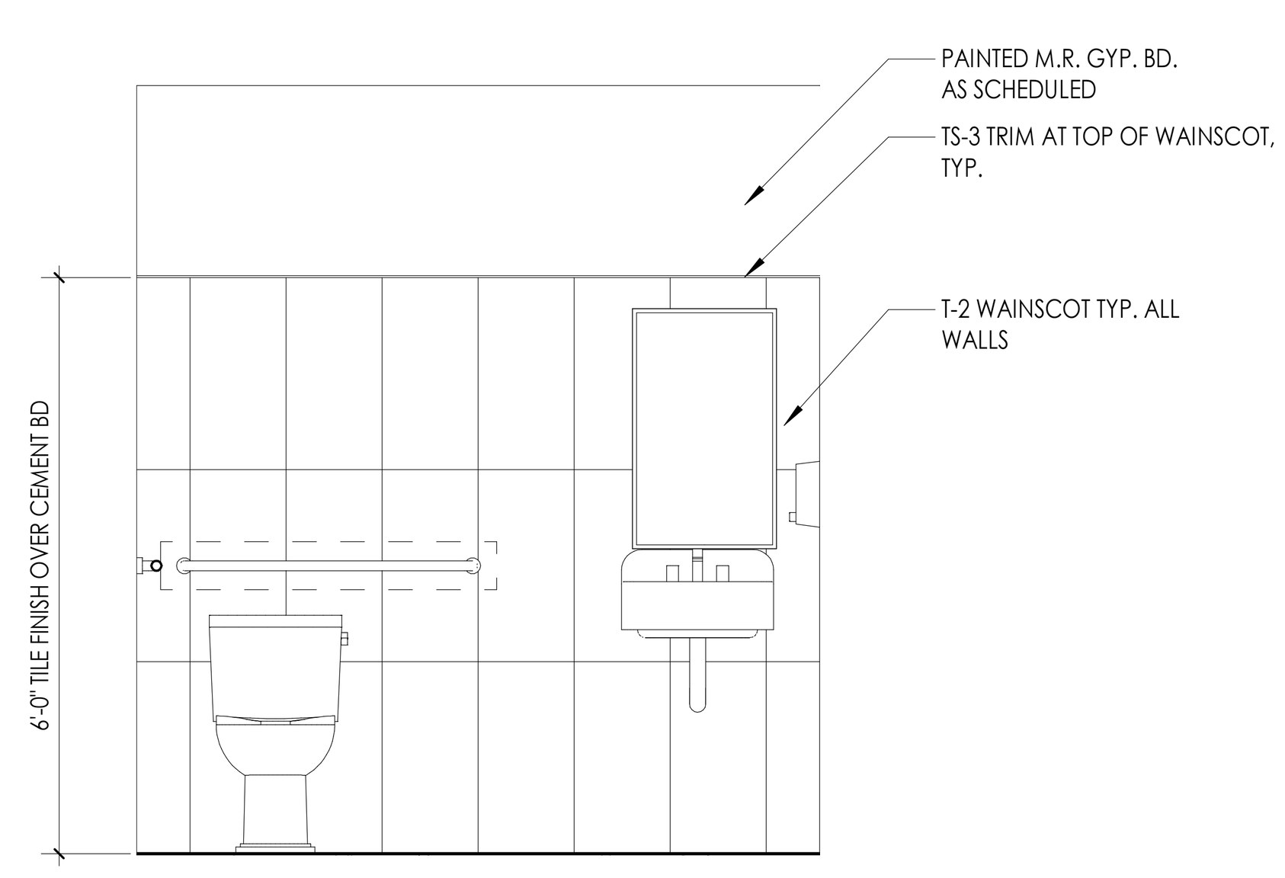


TOILET PAPER DISPENSER	SANITARY NAPKIN DISPOSAL UNIT	MIRROR	36" GRAB BAR	42" GRAB BAR	PAPER TOWEL DISPENSER AND WASTE RECEPTACLE SEMI-RECESSED	SOAP DISPENSER	UTILITY SHELF W/ HOOKS
A	B	C	D	E	F	G	H
EQUAL TO BOBRICK B-76267	EQUAL TO BOBRICK B-270	EQUAL TO BOBRICK B-165 1830	EQUAL TO BOBRICK B-6806 SERIES	EQUAL TO BOBRICK B-6806 SERIES	EQUAL TO BOBRICK B-3942	EQUAL TO BOBRICK B-2111	(1) PER MOP SINK EQUAL TO BOBRICK B-224

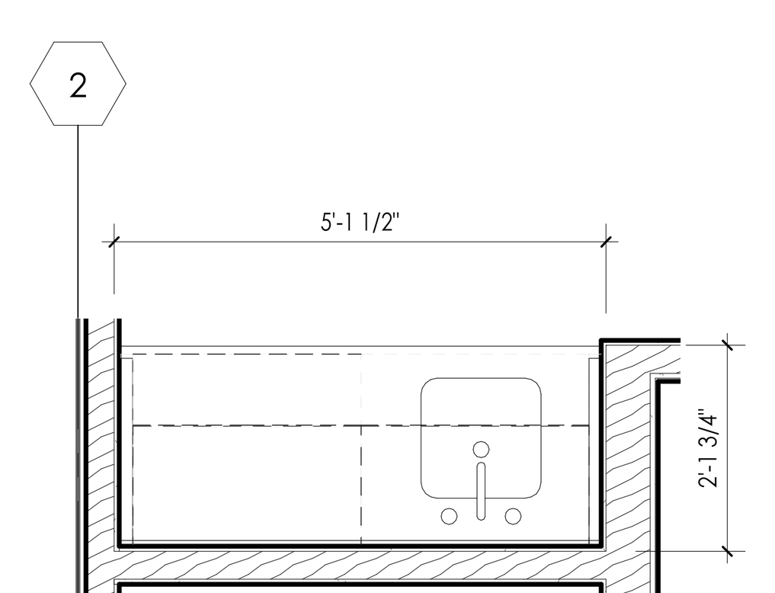
SPECIAL NOTE: THIS SHEET IS INCLUDED FOR REFERENCE PURPOSES ONLY. SOME FIXTURES AND MOUNTING HEIGHTS SHOWN MAY NOT APPLY TO THE CURRENT DOCUMENTS



6 A700 **COFFEE STATION ELEVATION**
1/2" = 1'-0"

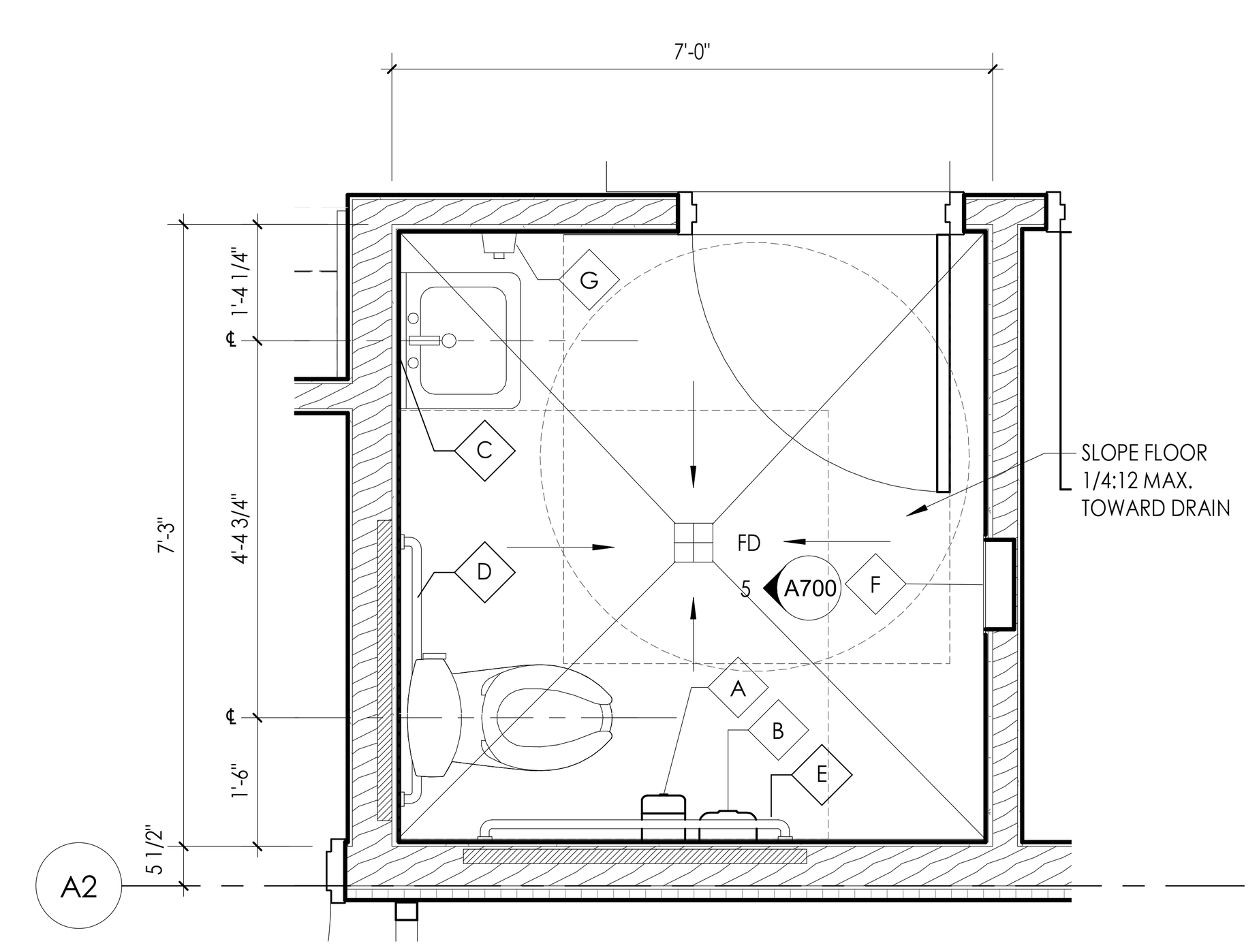


5 A700 **TYPICAL RR ELEVATION**
1/2" = 1'-0"

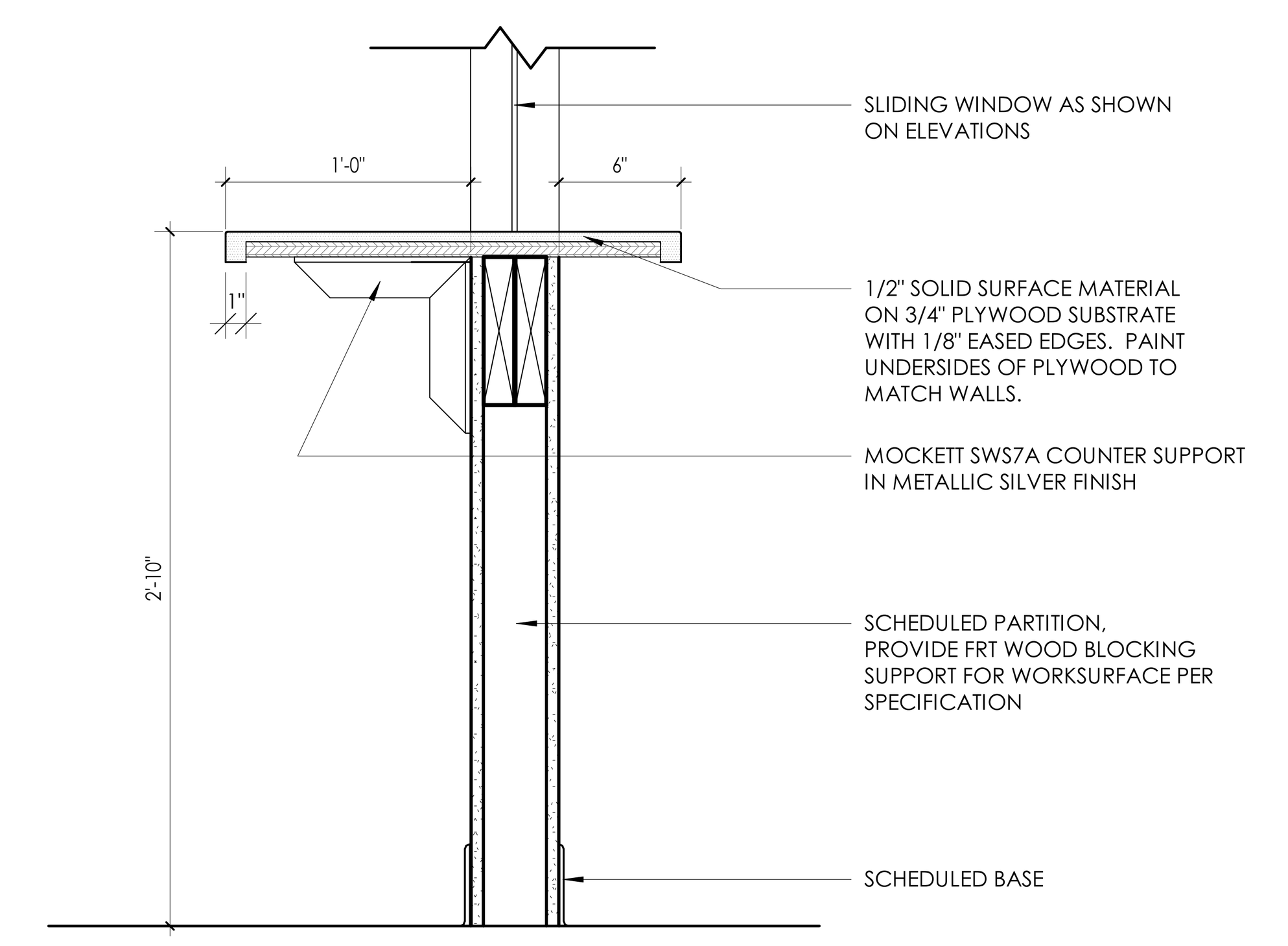


4 A700 **ENLARGED FLOOR PLAN - COFFEE STATION MILLWORK**
1/2" = 1'-0"

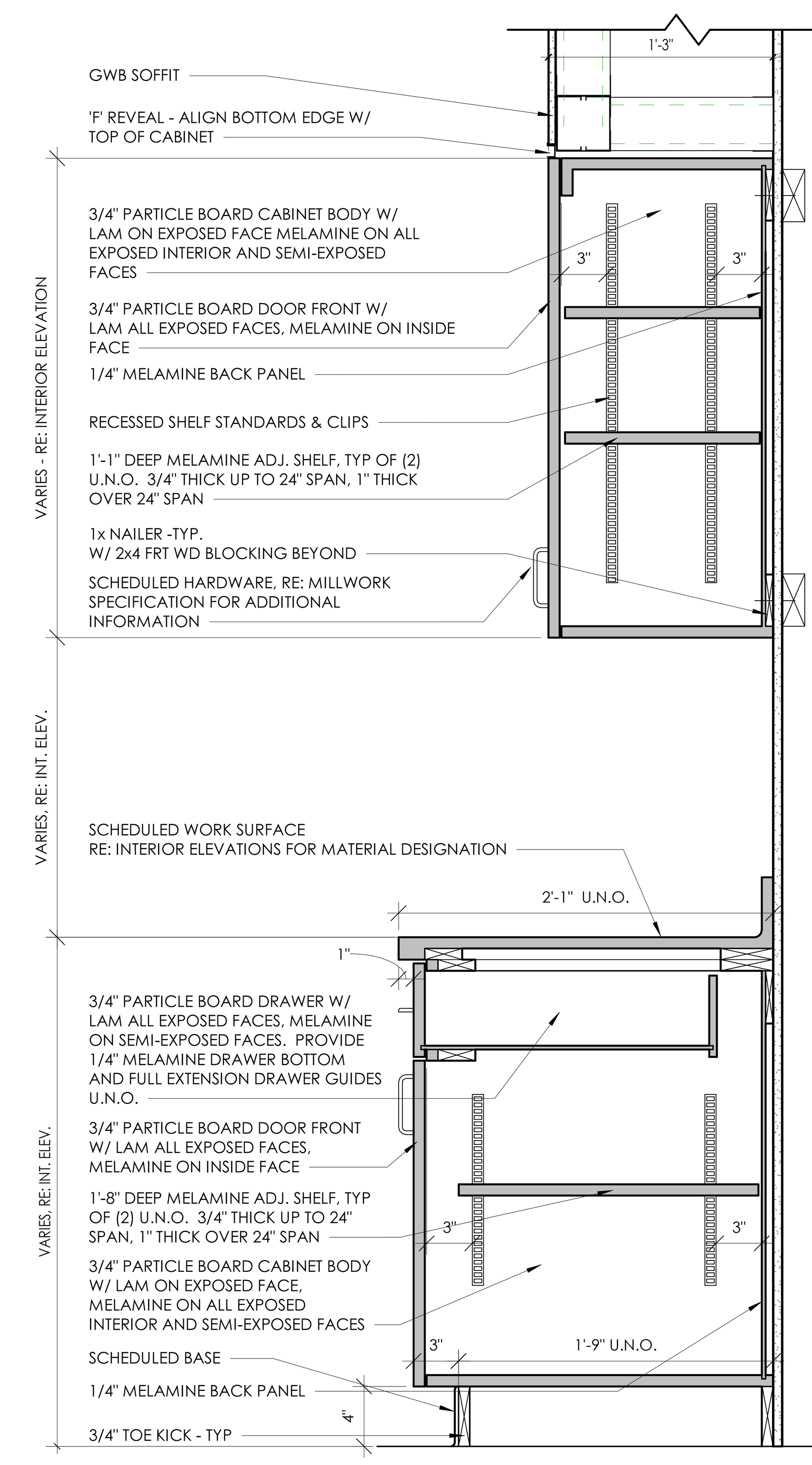
PROJECT NORTH



3 A700 **ENLARGED FLOOR PLAN - RESTROOM**
1/2" = 1'-0"



2 A700 **SECTION AT LOBBY COUNTER**
1 1/2" = 1'-0"



1 A700 **TYP. MILLWORK SECTION**
1 1/2" = 1'-0"

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THE FIRST MOUNTAIN CITY
JASPER GEORGIA
1857

PROJECT INFORMATION

Project Number
16526.00

Client Name
City of Jasper

Project Name
Fire Station Addition

Project Address
277 Burton Street - Jasper, Georgia 30143

PROJECT ISSUE & REVISION SCHEDULE

Date	Description

PROFESSIONAL STAMPS

STATE OF GEORGIA
KENNETH SCOTT GORDON
6/30/22
REGISTERED ARCHITECT

SHEET INFORMATION

Issued: 07/01/22
Scale: As indicated
Project Status: ISSUE FOR CONSTRUCTION
Drawn By: CPL
Checked By: CPL

Drawing Title
TYP. FIXTURE LEGENDS (ADA) AND INTERIOR MILLWORK ELEVATIONS AND DETAILS

Drawing Number
A700

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DOOR HARDWARE SCHEDULE

Set: 1.0
Doors: 115A

1 Continuous Hinge	CFM__SLF-HD1 - DOOR HEIGHT		PE
1 Mortise Deadlock	MS1850S	628	AD
1 Mortise Cylinder	2153	626	YA
1 Thumbturn	4066	130	AD
1 Push Pull	RM251 Mtg-Type 1XHD	US32D	RO
1 Conc Overhead Stop	6-X36	630	RF
1 Surface Closer	TJ3301	689	YA
1 Threshold	252x3AFG MSES25SS		PE
1 Rain Guard	346C		PE
1 Sweep (w/ drip edge)	3452CNB		PE

Notes:
- Perimeter/meeting stile seals by frame/door supplier.
- Door to remain unlocked during occupancy.

Set: 2.0
Doors: 117

3 Hinge	TA2714	US26D	MK
1 Storeroom or Closet Lock	PB 4705LN	626	YA
1 Surface Closer	3301	689	YA
1 Kick Plate	K1050 10" CSK	US32D	RO
1 Door Stop	403/441CU (TO SUIT)	US26D	RO
3 Silencer	608/609 (TO SUIT)		RO

Set: 3.0
Doors: 112, 113

3 Hinge	TA2714	US26D	MK
1 Entry Lock	PB 4704LN	626	YA
1 Door Stop	403/441CU (TO SUIT)	US26D	RO
3 Silencer	608/609 (TO SUIT)		RO

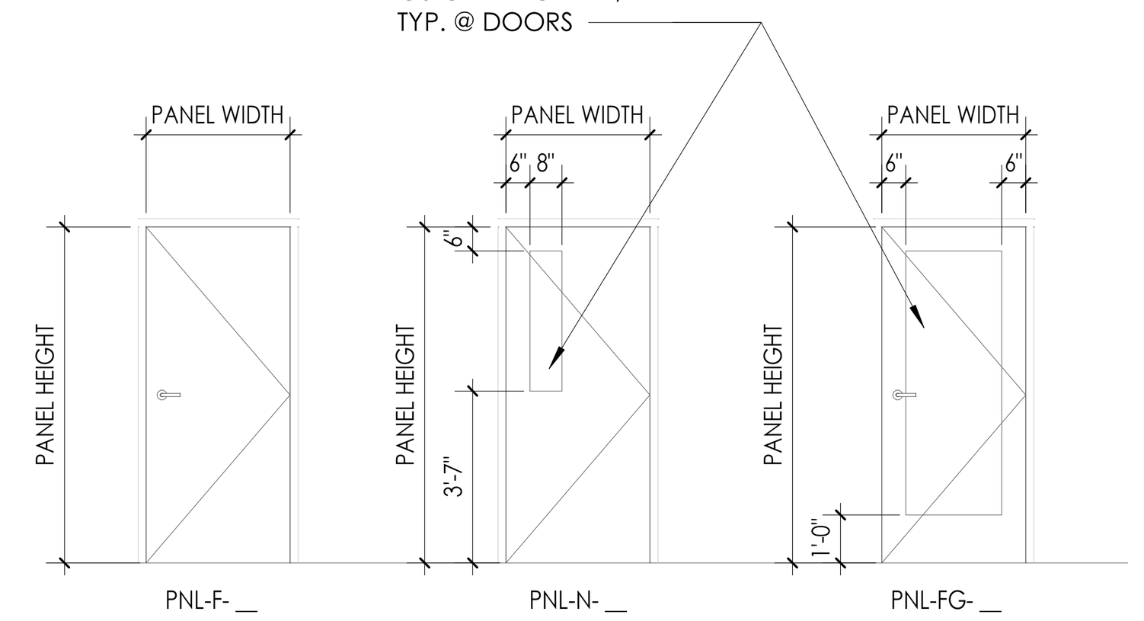
Set: 4.0
Doors: 116

3 Hinge	TA2714	US26D	MK
1 Privacy Lock	PB 4702LN	626	YA
1 Kick Plate	K1050 10" CSK	US32D	RO
1 Mop Plate	K1050 4" CSK	US32D	RO
1 Door Stop	403/441CU (TO SUIT)	US26D	RO
3 Silencer	608/609 (TO SUIT)		RO
1 Coat Hook	RM802	US32D	RO

Set: 5.0
Doors: 115B

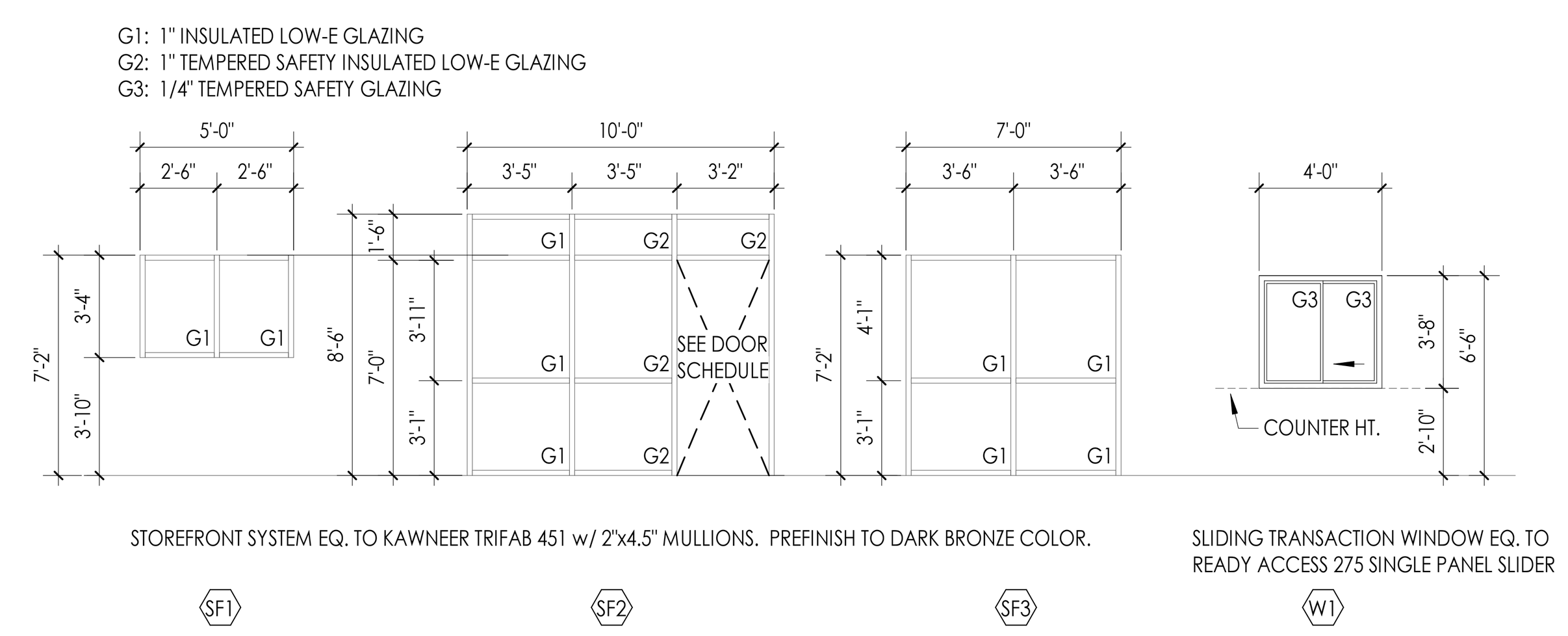
3 Hinge	TA2714	US26D	MK
1 Keypad Lock	PB NTB620-NR	626	YA
1 Surface Closer	3301	689	YA
1 Kick Plate	K1050 10" CSK	US32D	RO
1 Door Stop	403/441CU (TO SUIT)	US26D	RO
3 Silencer	608/609 (TO SUIT)		RO

Notes:
- Valid code unlocks outside lever or key retracts latchbolt. Free egress at all times.



DOOR PANEL ELEVATIONS

1/4" = 1'-0"



GLAZING SCHEDULE

3/16" = 1'-0"

DOOR SCHEDULE- NEW

DOOR		DOOR PANELS						DOOR FRAME			DOOR	
		PANEL TYPE		SINGLE PANEL DIMENSIONS			TOTAL PANEL DIMENSIONS		FRAME DIMENSIONS			
				WIDTH		HEIGHT			JAMB	HEAD		
DOOR NUMBER	FIRE RATING (MIN)	PANEL 1	PANEL 2	PANEL 1	PANEL 2	PANELS 1 & 2	THICKNESS	FRAME TYPE	WIDTH	HEIGHT	HW SET	COMMENTS
SLAB ON GRADE												
112		PNL-N-WD		3'-0"		7'-0"	0'-1 3/4"	FRM-00HM1	0'-2"	0'-2"	3	
113		PNL-N-WD		3'-0"		7'-0"	0'-1 3/4"	FRM-00HM1	0'-2"	0'-2"	3	
115A		PNL-FG-AL		3'-0"		7'-0"	0'-1 3/4"	FRM-00AL(CW)	0'-0"	0'-0"	1	SEE SF2 IN GLAZING SCHEDULE
115B		PNL-N-WD		3'-0"		7'-0"	0'-1 3/4"	FRM-00HM1	0'-2"	0'-2"	5	PROVIDE ACCESS CONTROL KEYPAD
116		PNL-F-WD		3'-0"		7'-0"	0'-1 3/4"	FRM-00HM1	0'-2"	0'-2"	4	
117		PNL-F-HM		3'-0"		7'-0"	0'-1 3/4"	FRM-00HM1	0'-2"	0'-2"	2	

DOOR AND FRAME NOTES

1. REFER TO A900S FOR DOOR & FRAME SCHEDULE
2. ALL FRAMES ARE TO RECEIVE FULL PERIMETER SEALANT. INTERIOR AND EXTERIOR
3. ALL DOOR AND WINDOW OPENING DIMENSIONS ARE TO BE VERIFIED IN FIELD AND COORDINATED WITH APPROVED SHOP DRAWINGS PRIOR TO FABRICATION.
4. SEE SCHEDULE FOR DOOR & FRAME MATERIAL

DOOR AND FRAME SCHEDULE LEGEND

NOTE: THIS LEGEND MAY CONTAIN SYMBOLS THAT ARE NOT USED IN THIS PROJECT.

DOOR OR FRAME MATERIAL

ACR	ACROVYN DOOR
ACR-L	ACROVYN LEAD LINED DOOR
ALUM	ALUMINUM
HM	HOLLOW METAL
HM-L	HOLLOW METAL LEAD LINED
IHM	INSULATED HOLLOW METAL
WD	WOOD
WD-L	WOOD LEAD LINED

DOOR OR FRAME FINISH

PTD	PAINT
ST	WOOD STAIN
DB	DARK BRONZE(ANODIZED)
SS	STAINLESS STEEL
BE	BAKED ENAMEL

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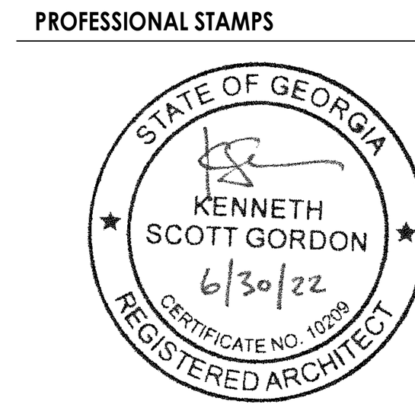
PROFESSIONAL STAMPS



SHEET INFORMATION

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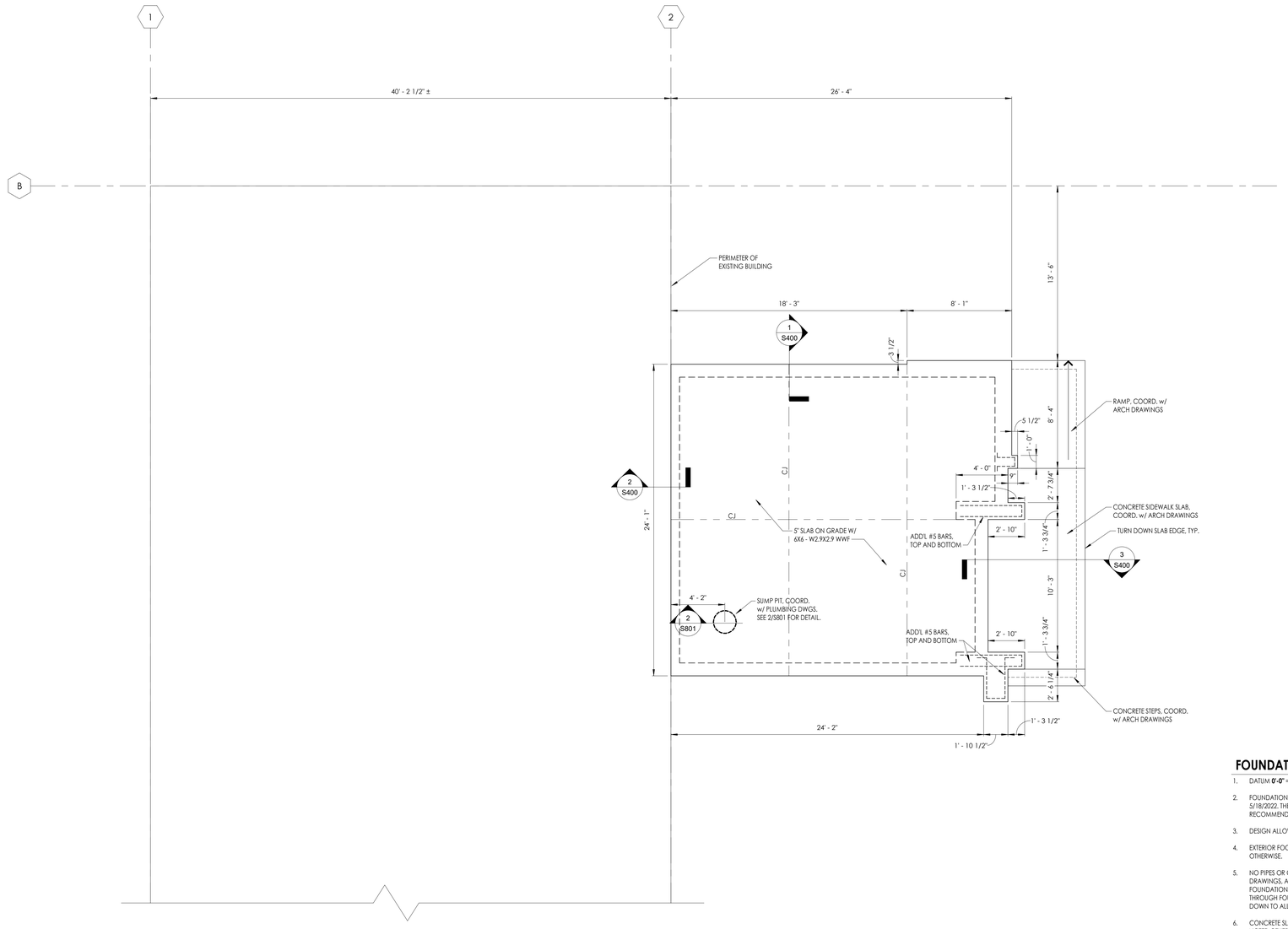
Drawn By: CPL
Checked By: CPL
Drawing Title: DOOR & WINDOW SCHEDULES
Drawing Number: A900



1 S200 **FOUNDATION PLAN**
1/4" = 1'-0"

FOUNDATION AND SLAB PLAN NOTES

1. DATUM **0'-0"** = EXISTING FINISHED FLOOR SLAB ELEVATION.
2. FOUNDATION DESIGN(S) IS BASED ON THE GEOTECHNICAL REPORT BY ECS SOUTHEAST, LLP, DATED 5/18/2022. THE CONTRACTOR SHALL OBTAIN A COPY OF THE REPORT AND REVIEW THE RECOMMENDATIONS AND REQUIREMENTS INCLUDED THEREIN PRIOR TO START OF CONSTRUCTION.
3. DESIGN ALLOWABLE SOIL BEARING CAPACITY IS 3000 PSF (NATURAL SOILS OR FILL).
4. EXTERIOR FOOTINGS SHALL BEAR AT A MINIMUM OF 2'-0" BELOW FINISHED GRADE UNLESS NOTED OTHERWISE.
5. NO PIPES OR CONDUIT SHALL BE PLACED IN THE FOOTINGS. REFER TO PLUMBING AND ELECTRICAL DRAWINGS, AND UTILITY PLANS FOR ALL LOCATIONS AND ELEVATIONS OF PENETRATIONS THROUGH FOUNDATIONS. DO NOT EMBED PIPING WITHIN OR PASS PIPING VERTICALLY OR HORIZONTALLY THROUGH FOUNDATIONS WITHOUT REVIEW AND APPROVAL BY THE ENGINEER. STEP TOP OF FOOTINGS DOWN TO ALLOW PIPES OR CONDUIT TO RUN OVER TOP OF FOOTINGS.
6. CONCRETE SLAB-ON-GRADE SHALL BE 5" THICK, NORMAL WEIGHT REINFORCED CONCRETE UNLESS NOTED OTHERWISE, OVER VAPOR BARRIER AND 6" COMPACTED CRUSHED STONE.
7. REFER TO ARCHITECTURAL DRAWINGS FOR FLOOR FINISHES, FLOOR DRAINS, FLOOR SLOPES, DEPRESSED/RAISED SLAB AREAS, AND WATERPROOFING.
8. REFER TO DRAWING S800 FOR ALL DESIGN LOADS AND OTHER INFORMATION PERTINENT TO THE STRUCTURAL DESIGN.
9. THE FOLLOWING DENOTES SYMBOL REPRESENTATION:
   FD = FLOOR DRAIN
   CJ = SLAB CONTROL JOINTS

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277 Burton Street - Jasper, Georgia 30143

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PROFESSIONAL STAMPS

GEORGIA REGISTERED NO. SE000225 STRUCTURAL ENGINEER BRIAN STEVEN COONEY
07/01/2022

SHEET INFORMATION

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ISSUE FOR CONSTRUCTION

Drawn By	Checked By
CPL	BSC

Drawing Title
FOUNDATION PLAN

Drawing Number
-
S200

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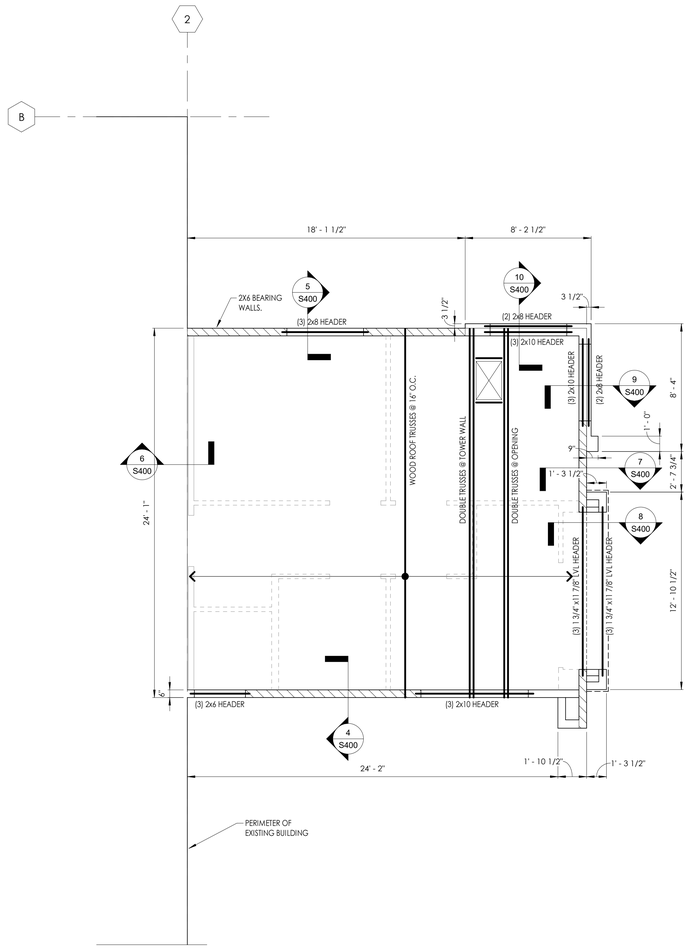
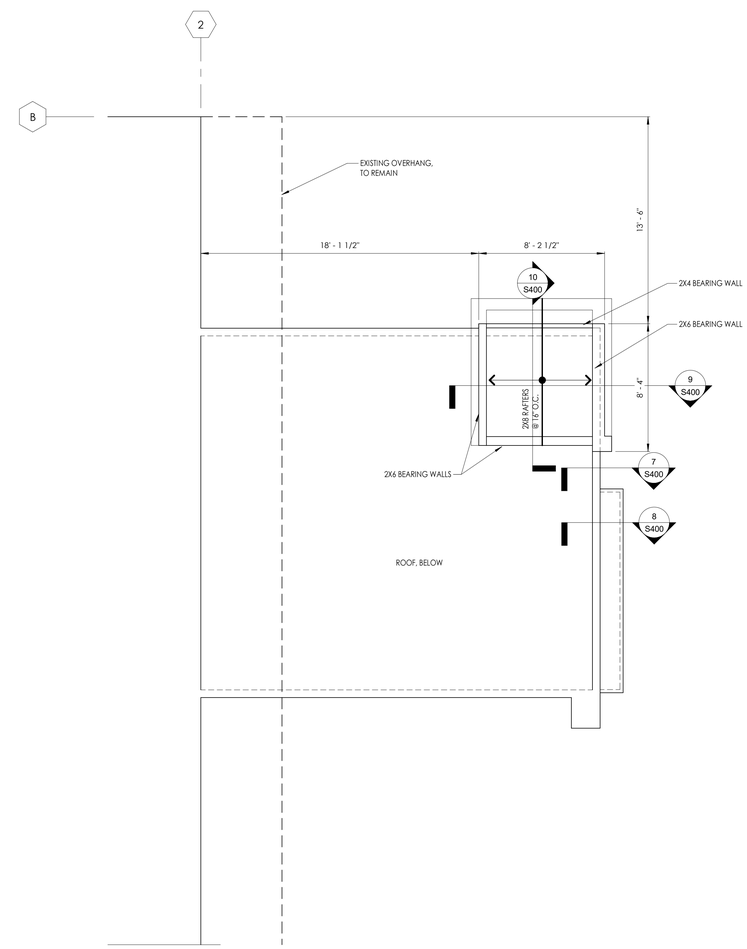


1 S201 ROOF FRAMING PLAN

1/4" = 1'-0"



3 S201 HIGH ROOF FRAMING PLAN

1/4" = 1'-0"

ROOF FRAMING PLAN NOTES

1. TRUSS BEARING ELEVATION IS +9'-8" UNLESS NOTED OTHERWISE.
2. WOOD TRUSSES SPACED AT 16" O.C. UNLESS NOTED OTHERWISE.
3. ROOF SHEATHING IS 1/2" PLYWOOD. PROVIDE H-CLIPS ON LONG EDGES OF PANELS MIDWAY BETWEEN EACH TRUSS.
4. PROVIDE UPLIFT TIES AT EACH TRUSS TO TOP PLATES.
5. TRUSS SHOP DRAWINGS SHALL BE AVAILABLE ON SITE PRIOR TO ROUGH IN.
6. DENOTES SHEAR WALLS; REFER TO S801 FOR DETAIL.
7. SEE SHEET S400 FOR TRUSS ELEVATION PROFILES.
8. PROVIDE BUILT-UP HEADERS AT ALL EXTERIOR WALL OPENINGS IN 2x6 WALLS:

UP TO 3'-6" OPENING	(3) 2x8 WITH PLYWOOD FILLERS	(1) JACK STUD EACH END
3'-7 TO 6'-0" OPENING	(3) 2x10 WITH PLYWOOD FILLERS	(2) JACK STUDS EACH END

HIGH ROOF FRAMING PLAN NOTES

1. RAFTER BEARING ELEVATION IS +XX'-XX" UNLESS NOTED OTHERWISE.
2. RAFTERS SPACED AT 16" O.C. UNLESS NOTED OTHERWISE.
3. ROOF SHEATHING IS 1/2" PLYWOOD. PROVIDE H-CLIPS ON LONG EDGES OF PANELS MIDWAY BETWEEN EACH RAFTER.
4. PROVIDE UPLIFT TIES AT EACH RAFTER TO TOP PLATES.

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THE FIRST MOUNTAIN CITY JASPER GEORGIA 1857

PROJECT INFORMATION

Project Number
16526.00

Client Name
City of Jasper

Project Name
Fire Station Addition

Project Address
277 Burton Street - Jasper, Georgia 30143

PROJECT ISSUE & REVISION SCHEDULE

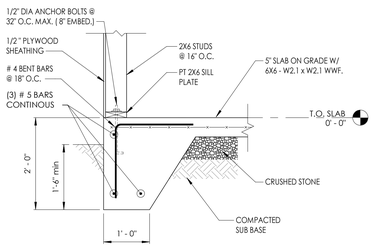
nr	Date	Description

PROFESSIONAL STAMPS

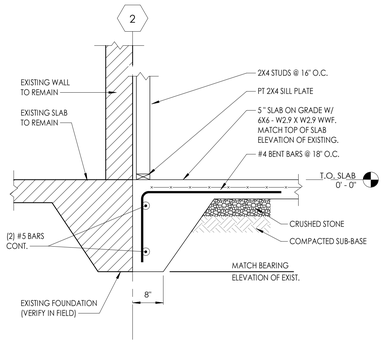
GEORGIA REGISTERED No. SC000225 STRUCTURAL ENGINEER BRIAN STEVEN COONEY
07/01/2022

SHEET INFORMATION

Issued: 07/01/22
Scale: As indicated
Project Status: ISSUE FOR CONSTRUCTION
Drawn By: CPL
Checked By: BSC
Drawing Title: ROOF FRAMING PLAN
Drawing Number: S201



1 S400 **SECTION**
3/4" = 1'-0"



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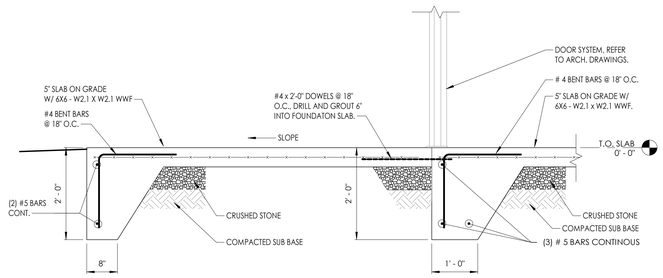

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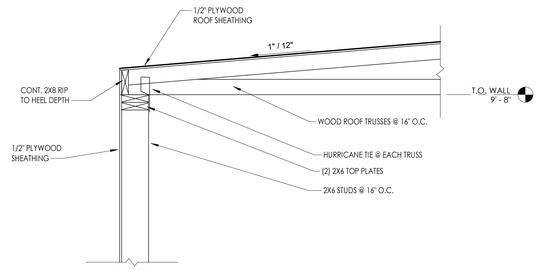

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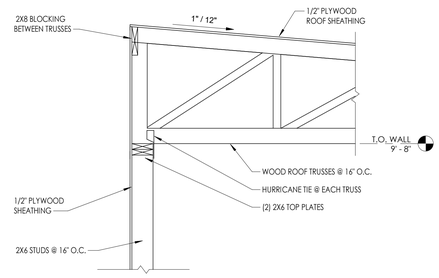

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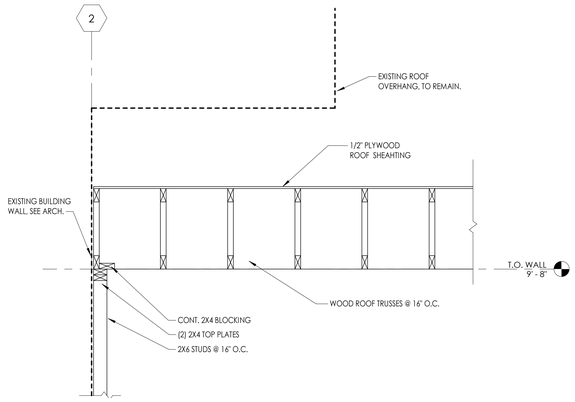

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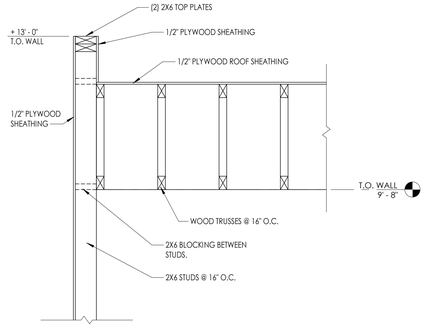

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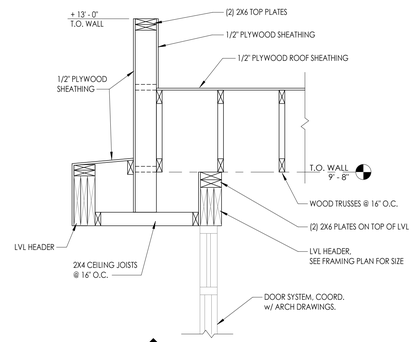
3/4" = 1'-0"



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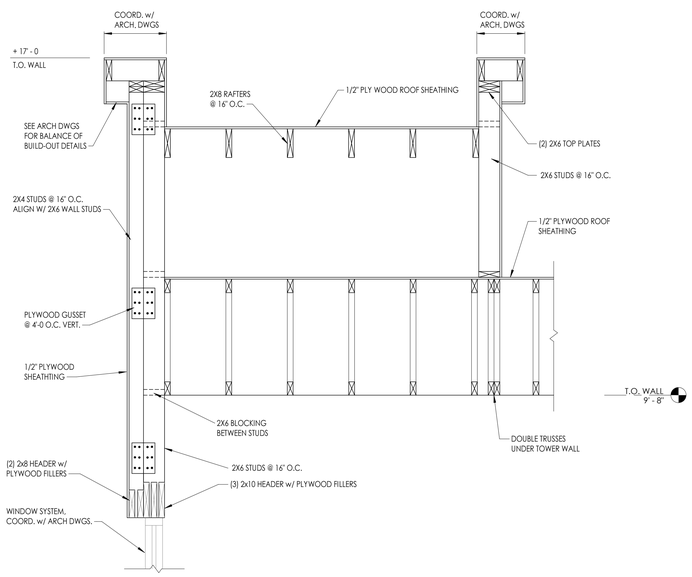

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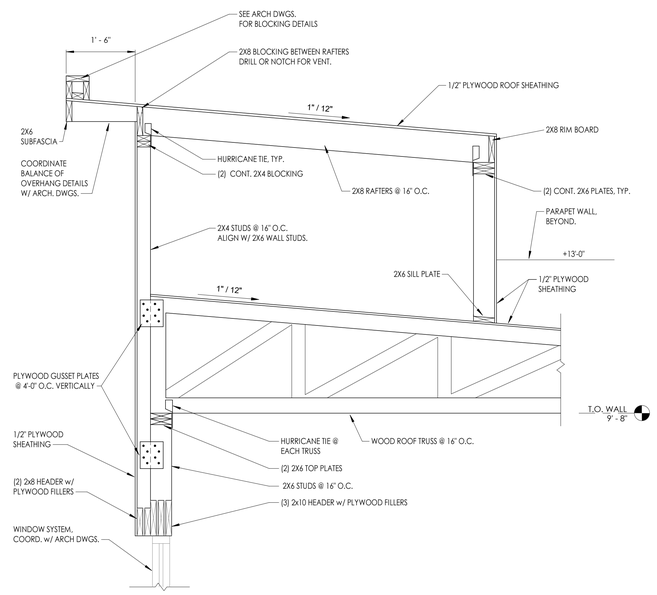

10 S400 **SECTION**
3/4" = 1'-0"

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THE FIRST MOUNTAIN CITY
JASPER GEORGIA
1857

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GEORGIA REGISTERED No. SE000225 STRUCTURAL ENGINEER BRIAN STEVEN COONEY
07/01/2022

SHEET INFORMATION

Issued	Scale
07/01/22	3/4" = 1'-0"

Project Status
ISSUE FOR CONSTRUCTION

Drawn By	Checked By
CPL	BSC

Drawing Title
SECTIONS AND DETAILS

Drawing Number
-
S400

GENERAL NOTES

1. THE STRUCTURE SHOWN ON THESE DRAWING IS SOUND ONLY IN ITS COMPLETED FORM. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING THE DESIGN, ADEQUACY, SAFETY AND STABILITY OF TEMPORARY ERECTION BRACING AND SHORING.

2. WHERE A DETAIL, TYPICAL DETAIL, SECTION, TYPICAL SECTION OR PLAN NOTE IS SHOWN FOR ONE CONDITION, IT SHALL APPLY FOR ALL SIMILAR OR LIKE CONDITIONS UNLESS NOTED OTHERWISE.

3. ALL DESIGN, INCLUDING MATERIAL STRESSES AND METHODS OF CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE 2018 INTERNATIONAL BUILDING CODE WITH GEORGIA STATE AMENDMENTS (2020), THE UNIFORM BUILDING CODE, OSHA AND GOVERNING AGENCIES HAVING JURISDICTION.

4. REFER TO THE "SPECIAL INSPECTIONS" SECTION OF THE SPECIFICATIONS FOR PROJECT REQUIREMENTS AND PERTINENT INFORMATION.

5. THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, ELEVATIONS AND SITE CONDITIONS SHOWN ON THE DRAWINGS AND IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO ORDERING OR FABRICATING MATERIALS OR OTHERWISE PROCEEDING WITH THE WORK.

6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES IN ORDER TO COMPLY WITH THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIAL, EQUIPMENT AND SERVICES REQUIRED TO EXECUTE AND COMPLETE ALL ITEMS OF WORK AS SHOWN OR INDICATED ON THE DRAWINGS AND AS SPECIFIED HEREIN, INCLUDING INCIDENTAL ITEMS TO EFFECT A FINISHED AND COMPLETE JOB, EVEN THOUGH SUCH ITEMS ARE NOT SHOWN OR PARTICULARLY MENTIONED.

7. THE GENERAL CONTRACTOR SHALL USE CONSTRUCTION METHODS THAT ARE IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

8. CONTRACTOR SHALL BE COMPLETELY RESPONSIBLE FOR ADEQUATELY SHORING AND BRACING EXISTING CONSTRUCTION WHILE PERFORMING NEW WORK.

9. DIMENSIONS ARE NOT TO BE DERIVED BY SCALING THESE DRAWINGS. IF THERE ARE ANY QUESTIONS REGARDING DIMENSIONS, CONTACT THE ARCHITECT/ENGINEER FOR INFORMATION PRIOR TO SUBMITTING SHOP DRAWINGS.

10. THE CONTRACTOR SHALL COORDINATE ALL STRUCTURAL WORK WITH THE ARCHITECTURAL AND MECHANICAL DRAWINGS AND SPECIFICATIONS, AND WITH THE WORK OF ALL OTHER TRADES.

11. THE CONTRACTOR SHALL COORDINATE ALL SIZES AND LOCATIONS OF FLOOR, ROOF AND WALL PENETRATIONS WITH MECHANICAL, PLUMBING AND ARCHITECTURAL DRAWINGS. ALL PENETRATIONS NOT SHOWN ON STRUCTURAL DRAWINGS MUST BE APPROVED BY THE DESIGN PROFESSIONAL, UNLESS NOTED OTHERWISE.

12. THE CONTRACTOR SHALL RESTORE TO ITS ORIGINAL CONDITION ALL SITE APPURTENANCES DAMAGED UNDER THIS CONTRACT AT NO ADDITIONAL COST TO THE OWNER.

13. INFORMATION IN THESE STRUCTURAL NOTES IS A SELECTED SUMMARY OF REQUIREMENTS. REFER TO SPECIFICATIONS FOR AMPLIFICATIONS OF REQUIREMENTS.

14. WHERE MEMBER LOCATIONS ARE NOT SPECIFICALLY DIMENSIONED, MEMBERS ARE EITHER LOCATED ON COLUMN LINES OR ARE EQUALLY SPACED BETWEEN LOCATED MEMBERS.

15. THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION SAFETY.

EXISTING CONSTRUCTION NOTES

1. BEFORE PROCEEDING WITH ANY WORK WITHIN THE EXISTING FACILITY, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE EXISTING BUILDING AT THE JOB SITE AND REPORT ANY DISCREPANCIES FROM ASSUMED CONDITIONS SHOWN ON THE DRAWINGS TO THE ARCHITECT AND ENGINEER PRIOR TO THE FABRICATION AND ERECTION OF ANY MEMBERS.

2. THE CONTRACTOR SHALL FIELD VERIFY THE DIMENSIONS, ELEVATIONS, ETC. NECESSARY FOR THE PROPER CONSTRUCTION AND ALIGNMENT OF THE NEW WORK TO THE EXISTING WORK.

3. WORK SHOWN ON THE DRAWINGS IS NEW, UNLESS NOTED AS EXISTING.

4. EXISTING CONSTRUCTION SHOWN ON THE DRAWINGS WAS OBTAINED FROM DRAWINGS PREPARED BY LIMITED SITE OBSERVATION. THESE DRAWINGS OF EXISTING CONSTRUCTION ARE AVAILABLE FOR CONTRACTOR USE. HOWEVER, THE AVAILABLE DRAWINGS OF EXISTING CONSTRUCTION MAY NOT NECESSARILY BE COMPLETE. THE CONTRACTOR SHALL FIELD VERIFY ALL PERTINENT INFORMATION.

5. IF ANY ARCHITECTURAL, STRUCTURAL, OR MECHANICAL MEMBERS OR COMPONENTS NOT DESIGNATED FOR REMOVAL INTERFERE WITH THE NEW WORK, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY AND APPROVAL MUST BE OBTAINED PRIOR TO REMOVAL OF THOSE MEMBERS.

6. THE CONTRACTOR SHALL SAFELY SHORE EXISTING CONSTRUCTION TO ALLOW THE INSTALLATION OF NEW WORK. ALL SHORING METHODS AND SEQUENCING OF DEMOLITION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND HIS ENGINEER.

7. THE CONTRACTOR SHALL SUBMIT A DETAILED PLAN FOR SHORING, BRACING AND PROTECTION OF THE EXISTING CONSTRUCTION. THE PLAN SHALL INCLUDE CONSTRUCTION SEQUENCE, BEAR THE SEAL AND SIGNATURE OF A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF GEORGIA, AND BE SUBMITTED TO THE ENGINEER OF RECORD FOR REVIEW PRIOR TO THE BEGINNING OF WORK.

8. THE CONTRACTOR SHALL VERIFY THE LOCATION OF EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION AND TAKE CARE TO PROTECT EXISTING UTILITIES THAT ARE TO REMAIN IN SERVICE.

9. THE CONTRACTOR SHALL REPAIR ALL DAMAGE CAUSED DURING CONSTRUCTION WITH SIMILAR MATERIALS AND WORKMANSHIP TO RESTORE CONDITIONS TO LEVELS ACCEPTABLE TO THE DESIGN PROFESSIONAL.

10. THE CONTRACTOR SHALL ENSURE THAT ALL CONSTRUCTION METHODS USED WILL NOT CAUSE DAMAGE TO THE ADJACENT BUILDINGS AND PROPERTY. THIS SHALL INCLUDE ALL FOUNDATION INSTALLATION.

EXCAVATION & BACKFILL NOTES

1. THE SITE SHALL BE PREPARED IN ACCORDANCE WITH SPECIFICATIONS AND THE CIVIL DRAWINGS. THE STRUCTURAL DESIGN IS BASED ON RECOMMENDATIONS CONTAINED IN THE GEOTECHINCAL REPORT BY ECS SOUTHEAST, LLP, DATED 5/18/2022. A QUALIFIED GEOTECHNICAL ENGINEER SHALL VERIFY ALL ASSUMPTIONS AND REPORT TO THE ARCHITECT/ENGINEER ANY VARIATIONS.

2. EXCAVATIONS TO BE SHEETED AND BRACED, OR LAID BACK TO PREVENT SLOUGHING IN OF THE EXCAVATED AREAS PER OSHA REGULATIONS.

3. ALL EXCAVATIONS AND GRADES PREPARED FOR BEARING SHALL BE INSPECTED BY A QUALIFIED GEOTECHNICAL ENGINEER TO VERIFY THE DESIGN ASSUMPTIONS AND REPORT NONCONFORMING CONDITIONS.

4. THE CONTRACTOR SHALL DETERMINE THE EXTENT OF CONSTRUCTION DEWATERING REQUIRED FOR THE EXCAVATION. THE CONTRACTOR SHALL SUBMIT TO THE GEOTECHNICAL ENGINEER FOR REVIEW THE PROPOSED PLAN FOR DEWATERING, PRIOR TO EXCAVATION.

5. PLACE ALL FOOTINGS ON FIRM, DRY, LEVEL, ACCEPTABLE BEARING SOIL.

6. FROST DEPTH FOR THIS PROJECT IS 1'-6" BELOW GRADE. FINISH GRADE SHALL BE MAINTAINED A MINIMUM OF 0'-6" ABOVE TOP OF FOUNDATIONS UNLESS NOTED OTHERWISE.

7. TOP OF FOOTING ELEVATIONS PROVIDED ON CONSTRUCTION DRAWINGS ARE FOR PURPOSES OF DESIGN. NOTIFY THE ENGINEER IF TOP OF FOOTING ELEVATIONS NEED TO BE ADJUSTED BASED ON CONTRACTOR'S FIELD COORDINATION OR GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.

8. REMOVE AND DISPOSE OF LEGALLY FROM SITE; UNACCEPTABLE BEARING SOIL, EXCESS EXCAVATED MATERIAL, ASPHALT MATERIAL (SEE SITE PLANS).

9. WHERE FILL IS REQUIRED UNDER BEARING CONDITIONS, IT SHALL BE SELECTED AND PLACED IN ACCORDANCE WITH INSTRUCTIONS OF A QUALIFIED GEOTECHNICAL ENGINEER TO MAINTAIN DESIGN BEARING PRESSURE.

10. THE DESIGN OF WALLS RETAINING EARTH DOES NOT INCLUDE HYDROSTATIC PRESSURE LOADS UNLESS NOTED OTHERWISE, AND ASSUMES A DRAINAGE SYSTEM IS IN PLACE WHERE REQUIRED.

11. BACKFILL WITHIN BUILDING - TO WITHIN 6 INCHES OF UNDERSIDE OF FLOOR SLAB SHALL BE "SUBBASE COURSE" CONSISTING OF HARD DURABLE PEBBLES, ROCK FRAGMENTS AND SOIL BINDER. IT SHALL BE FREE OF CLAY, ORGANIC MATTER, AND OTHER DELETERIOUS MATERIAL. GRADATION: 2 INCHES MAXIMUM SIZE, 25-60% PASSING THE 1/4" SIEVE, 5-40% PASSING NO. 40 SIEVE, AND NOT MORE THAN 10% PASSING NO. 200 SIEVE.

12. UNDER SLABS ON GRADE - POROUS 6 INCH LIFT OF WASHED "CRUSHED STONES" CONSISTING OF ASTM #57 STONE.

13. BACKFILL OUTSIDE OF BUILDING - "SELECT GRANULAR FILL" CONSISTING OF SAND, FINE GRAVEL, COARSE SILT, OR SIMILAR NON-COHESIVE HARD DURABLE MATERIALS AND SOIL BINDERS WITHOUT EXCESSIVE CLAY, ORGANIC MATTER, OR FROZEN OR DELETERIOUS MATERIAL. GRADATION: 4 INCHES MAXIMUM SIZE, 0-70% PASSING THE #40 SIEVE AND 0-15% PASSING THE #200 SIEVE.

14. FILL COMPACTION:
WITHIN BUILDING - 95% DRY DENSITY MODIFIED PROCTOR.
OUTSIDE OF BUILDING - 92% DRY DENSITY MODIFIED PROCTOR.

15. FILL PLACEMENT - BACKFILL SHALL NOT BE PLACED AGAINST WALLS UNTIL THE WALLS HAVE ACHIEVED SPECIFIED DESIGN STRENGTH. PLACE FILL SIMULTANEOUSLY ON EACH SIDE OF FOUNDATION WALL IN 6 INCH LIFTS. THE MAXIMUM DIFFERENCE IN ELEVATION ON EITHER SIDE OF WALL SHALL NOT EXCEED 1'-6".

CAST-IN-PLACE CONCRETE NOTES

GENERAL

1. ALL CONCRETE WORK, CONSTRUCTION AND REINFORCING DETAILS SHALL CONFORM TO THE 2018 INTERNATIONAL BUILDING CODE WITH GEORGIA STATE AMENDMENTS, AND "THE SPECIFICATIONS OF THE AMERICAN CONCRETE INSTITUTE BUILDING CODE REQUIREMENTS" (ACI-318).

2. ALL CONCRETE SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS AND CONFORM TO THE REQUIREMENTS OF THE SCHEDULE BELOW, UNLESS NOTED OTHERWISE. SEE SPECIFICATIONS FOR MIX DESIGN REQUIREMENTS.

LOCATION	W/C RATIO	SLUMP (±1")	% AIR (±1%)	MAXIMUM AGGREGATE	MIN. STRENGTH @ 28 DAYS
BURIED FOUNDATIONS	.50	3.5"	N/A	1 1/2"	3,500 PSI
EXPOSED RETAINING WALLS AND FOUNDATION WALLS	.45	3.5"	5.5	1 1/2"	5,000 PSI
SLAB ON GRADE (INT.)	.45	3.5"	4	3/4"	3,000 PSI
SLAB ON GRADE (EXT.)	.45	3.5"	5.5	3/4"	5,000 PSI

3. CONTRACTOR SHALL SUBMIT MIX DESIGNS PROPORTIONED BY A LICENSED TESTING LABORATORY.

4. PROVIDE MINIMUM OF FOUR (4) CYLINDERS PER EACH FIFTY (50) YARDS OR FRACTION THEREOF POURED IN ONE DAY. BREAK ONE AT 7 DAYS AND TWO AT 28 DAYS.

5. WHERE NEW CONCRETE IS TO BE POURED ONTO EXISTING CONCRETE, BONDING IS REQUIRED AS NOTED IN ACI 301.

6. CONDUITS AND PIPES OF ALUMINUM SHALL NOT BE EMBEDDED IN CONCRETE.

REINFORCING STEEL

1. ALL REINFORCING STEEL AND ACCESSORIES SHALL BE DETAILED, FABRICATED AND PLACED IN ACCORDANCE WITH "ACI MANUAL OF STANDARD PRACTICE FOR DETAILING CONCRETE STRUCTURES" (ACI-315).

2. REINFORCING STEEL SHALL CONFORM TO ASTM A-615 GRADE 60. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185.

3. LAP SPLICES AND EMBEDMENT LENGTHS SHALL CONFORM TO ACI 318 - CHAPTER 25.

4. PROVIDE CORNER BARS TO MATCH HORIZONTAL REINFORCING WHERE FOOTINGS, WALLS OR BEAMS MEET AT CORNERS OR INTERSECT. THIS ALSO INCLUDES INTERSECTIONS OF CONCRETE WITH MASONRY WORK.

5. PROVIDE SHOP DRAWINGS FOR REINFORCING INCLUDING ALL NECESSARY ACCESSORIES TO HOLD REINFORCING SECURELY IN PLACE.

6. CLEAR COVER CONCRETE PROTECTION FOR REINFORCING STEEL SHALL BE AS FOLLOWS:

3" - CONCRETE CAST AGAINST EARTH.
2" - FORMED SURFACES IN CONTACT WITH SOIL OR EXPOSED TO WEATHER.
1" - FORMED SURFACES NOT IN CONTACT WITH SOIL OR EXPOSED TO WEATHER.

FOUNDATIONS

1. ALL FOUNDATIONS ARE TO BEAR ON APPROVED BEARING MATERIAL. SEE GEOTECHNICAL EVALUATION BY ESC SOUTHEAST, LLP, DATED 5/18/2022

2. ALL FOUNDATION EXCAVATIONS ARE SUBJECT TO APPROVAL BY THE OWNER'S REPRESENTATIVE BEFORE ANY CONCRETE IS PLACED.

3. ALL FORMS AND REINFORCING STEEL IN PLACE SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE BEFORE ANY CONCRETE IS PLACED.

4. NO FOUNDATION SHALL BE PLACED IN WATER OR ON FROZEN GROUND.

5. IN GENERAL, EXTERIOR CONSTRUCTION SHALL BE CARRIED DOWN A MINIMUM OF 1'-6" BELOW FINISHED EXTERIOR GRADE.

6. CENTERLINE OF FOOTINGS, WALLS, GRADE BEAMS, COLUMNS, AND BEAMS SHALL COINCIDE, UNLESS OTHERWISE NOTED.

7. REFER TO ARCHITECTURAL AND CIVIL DRAWINGS FOR FOUNDATION DRAINAGE.

8. ALL EXTERIOR CONCRETE USED ABOVE GRADE SHALL HAVE AN AIR ENTRAINING AGENT.

9. RUB ALL SIGHT EXPOSED CONCRETE AFTER FORMS HAVE BEEN REMOVED.

10. ALL EXPOSED CONCRETE PIER CORNERS SHALL BE CHAMFERED 3/4".

11. ISOLATION JOINT - ASPHALT IMPREGNATED FILLER STRIP CONFORMING TO ASTM D-944.

12. CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON THE JOB BEFORE COMMENCING WORK. REFER TO ARCHITECTURAL DRAWINGS FOR ANY DIMENSIONS AND DETAILS NOT SHOWN. REFER TO ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS FOR LOCATION AND DIMENSIONS OF ANY OPENING, SLEEVES, INSERTS, SLAB DEPRESSIONS, ETC.

SLABS-ON-GRADE

1. ALL SLABS ON GRADE SHALL BE PLACED OVER A STEGO 15 MIL VAPOR BARRIER. TAPE ALL SEAMS AND PROVIDE FLASHING/BOOTS AROUND PIPE PENETRATIONS.

2. UNDER SLABS ON GRADE: POROUS 6-INCH LIFT WASHED OF "CRUSHED STONE" MATERIAL CONSISTING OF ASTM #57 STONE.

3. SLAB-ON-GRADE REINFORCEMENT SHALL BE 6x6-W2.9x2.9 WWF, UNLESS NOTED OTHERWISE.

4. PLACEMENT OF WELDED WIRE REINFORCEMENT SHALL BE AT A CONSISTENT DEPTH OF 1 1/2" FROM TOP OF SLAB, AND SHALL BE PROPERLY CHAIRED.

5. WET CURE FOR 7 DAYS BEFORE APPLYING ANY WHEELED TRAFFIC.

6. CONCRETE SLAB CONTROL JOINTS SHALL BE CUT INTO THE SLABS AT A DEPTH OF 1/4 TIMES THE SLAB THICKNESS WITHIN 12 HOURS OF PLACING THE CONCRETE. MAXIMUM SPACING OF INTERIOR SLAB CONTROL JOINTS, UNLESS NOTED OTHERWISE, SHALL BE 15'-0" O/C IN EACH DIRECTION. THE LENGTH OF ANY INDIVIDUAL JOINTED AREA SHALL NOT EXCEED 1.5 TIMES ITS WIDTH.

7. CONSTRUCTION/COLD JOINTS: TERMINATE DAY'S CONCRETE WORK AT A CONTROL JOINT LOCATION. PROVIDE A KEYWAY OR DOWELS FOR CONTINUATION OF WORK WITH NEXT POUR. CONTINUE 50% OF SLAB REINFORCEMENT THROUGH CONSTRUCTION AND CONTRACTION JOINTS.

8. CONCRETE SURFACE SHALL BE HARD STEEL TROWEL FINISH, UNLESS NOTED OTHERWISE.

9. REFER TO ARCHITECTURAL, MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR SLAB FINISHES, SLAB DEPRESSIONS, THICKENED SLABS, EQUIPMENT PADS/CURBS, ELEVATIONS, AND ENCASED OR EMBEDED ITEMS.

10. PLUMBING AND ELECTRICAL CONDUITS SHALL BE PLACED BELOW THE SLAB AND NOT WITHIN THE SLAB. VERTICAL PENETRATIONS ARE ALLOWED.

11. PROVIDE ONE #4 BAR, 4'-0" LONG, DIAGONAL AT CORNERS AND OPENINGS IN SLABS-ON-GRADE.

12. INTERIOR SLAB ON GRADE CONCRETE MIXES SHALL INCLUDE "BARRIER-ONE" ADMIXUTRE.

GENERAL WOOD FRAMING NOTES

1. DETAILS OF WOOD FRAMING SUCH AS NAILING, BLOCKING, BRIDGING, FIRESTOPPING, ETC. SHALL CONFORM TO THE AMERICAN WOOD COUNCIL (AWC) MANUALS AND SUPPLEMENTS.

2. DO NOT NOTCH, BORE, OR CUT MEMBERS FOR PIPES, DUCTS, CONDUITS, OR ANY OTHER REASON EXCEPT AS SHOWN ON THE DRAWINGS OR AS SPECIFICALLY APPROVED IN ADVANCE BY THE ENGINEER.

3. MAKE ALL BEARINGS FULL UNLESS OTHERWISE INDICATED ON THE DRAWINGS. FINISH ALL BEARING SURFACES ON WHICH STRUCTURAL MEMBERS ARE TO REST SO AS TO GIVE SURE AND EVEN SUPPORT. WHERE FRAMING MEMBERS SLOPE, CUT OR NOTCH THE ENDS AS REQUIRED TO GIVE UNIFORM BEARING SURFACE.

4. ON ALL FRAMING MEMBERS TO RECEIVE A FINISHED WALL OR CEILING, ALIGN THE FINISHED SUBSURFACE TO VARY NOT MORE THAN 1/8" FROM THE PLANE OF SURFACE OF ADJACENT FRAMING AND FURRING MEMBERS.

5. PLACE ALL PLYWOOD SHEATHING WITH FACE GRAIN PERPENDICULAR TO SUPPORTS AND CONTINUOUSLY OVER AT LEAST THREE SUPPORTS. CENTER JOINTS ACCURATELY OVER SUPPORTS, STAGGER THE END JOINTS OF PLYWOOD PANELS TO ACHIEVE CONTINUITY OVER TRUSSES.

6. NAILING:

   A. USE ONLY COMMON WIRE NAILS OR SPIKES OF THE DIMENSIONS SHOWN ON THE NAILING SCHEDULE, EXCEPT WHERE OTHERWISE CALLED FOR ON THE DRAWINGS.
   B. FOR CONDITIONS NOT COVERED IN THE NAILING SCHEDULE, PROVIDE PENETRATION INTO THE PIECE OF RECEIVING THE POINT OF NOT LESS THAN 1/2 THE LENGTH OF THE NAIL OR SPIKE PROVIDED, HOWEVER, THAT 16D NAILS MAY BE USED TO CONNECT TWO PIECES OF TWO INCH NOMINAL THICKNESS.
   C. DO ALL NAILING WITHOUT SPLITTING WOOD. PRE-BORE AS REQUIRED. REPLACE ALL SPLIT MEMBERS.

7. BOLTING - DRILL HOLES 1/16 INCH LARGER IN DIAMETER THAN THE BOLTS BEING USED. DRILL STRAIGHT AND TRUE FROM ONE SIDE ONLY. BOLT THREADS SHALL NOT BEAR ON WOOD. USE WASHERS UNDER HEAD AND NUT WHERE BOTH BEAR ON WOOD; USE WASHERS UNDER ALL NUTS.

8. SCREWS - FOR LAG SCREWS AND WOOD SCREWS, PRE-BORE HOLES SAME DIAMETER AS ROOT OF THREAD; ENLARGE HOLES TO SHANK DIAMETER FOR LENGTH OF SHANK. SCREW, DO NOT DRIVE, ALL LAG SCREWS AND WOOD SCREWS.

9. ALL FASTENERS IN CONTACT WITH PRESSURE TREATED WOOD SHALL BE HOT DIPPED ZINC- COATED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE, OR COPPER. THE COATING WEIGHTS FOR ZINC-COATED SHALL BE IN ACCORDANCE WITH ASTM A153.

FRAMING MATERIALS

1. FRAMING LUMBER (NOMINAL 2" THICK) SHALL BE KILN DRIED No. 2 HEM-FIR, No. 1/No. 2 SPRUCE-PINE-FIR, OR No. 2 DOUGLAS FIR, SURFACED FOUR SIDES, CONFORMING TO THE FOLLOWING REQUIREMENTS:

   A. MOISTURE CONTENT NOT TO EXCEED 19%.
   B. MINIMUM ALLOWABLE BENDING STRESS (Fb) TO BE NOT LESS THAN 875 PSI.
   C. MINIMUM ALLOWABLE COMPRESSIVE STRESS (Fc) TO BE NOT LESS THAN 1150 PSI.
   D. MINIMUM ALLOWABLE HORIZONTAL SHEAR STRESS (Fv) TO BE NOT LESS THAN 135 PSI.
   E. MODULUS OF ELASTICITY:
      E = 1,400,000 PSI,
      Emin = 510,000 PSI.
   F. EACH PIECE OF LUMBER CLEARLY MARKED WITH GRADE MARK OF APPLICABLE GRADING ASSOCIATION.
   G. EACH PIECE OF LUMBER MUST BE SOUND, THOROUGHLY SEASONED, WELL MANUFACTURED AND FREE OF EXCESSIVE WARP THAT CANNOT BE CORRECTED BY PROPER NAILING. SPLIT LUMBER SHALL BE REJECTED.

2. PLYWOOD SHEATHING SHALL CONFORM TO U.S. VOLUNTARY PRODUCT STANDARD PS1-95 AND/OR PS2-92.

   A. ROOF SHEATHING: 1/2" APA STRUCTURAL 1 RATED EXPOSURE 1, SPAN RATING 32/16.
   B. WALL SHEATHING: 1/2" APA STRUCTURAL 1 RATED EXPOSURE 1, SPAN RATING 32/16.

3. LAMINATED VENEER LUMBER (MICROLAM LVL) BEAMS SHALL BE GRADED DOUGLAS FIR, CONFORMING TO THE FOLLOWING REQUIREMENTS:

   A. MINIMUM ALLOWABLE BENDING STRESS 2,800 PSI.
   B. MINIMUM ALLOWABLE HORIZONTAL SHEAR STRESS 285 PSI.
   C. MINIMUM ALLOWABLE MODULUS OF ELASTICITY 1,900,000 PSI.

4. WOOD THAT IS EMBEDDED IN EARTH OR CONCRETE, OR PLACED 0N CONCRETE IN DIRECT CONTACT WITH THE EARTH, OR DIRECTLY EXPOSED TO WEATHER SHALL BE PRESERVATIVE-TREATED INCLUDING BUT NOT LIMITED TO POSTS, BEAMS, COLUMNS, JOISTS, SLEEPERS, SILLS, AND SOLE PLATES.

5. NAILS - COMMON NAILS, EXCEPT WHERE NOTED, MEETING FEDERAL SPECIFICATION FF-N-1-1. USE GALVANIZED NAILS AT ALL EXPOSED LOCATIONS.

6. JOIST HANGERS AND FRAMING ANCHORS - MINIMUM 14 GA. MATERIAL, EXCEPT WHERE NOTED OR RECOMMENDED BY ACCEPTABLE MANUFACTURERS.

7. MISCELLANEOUS FASTENERS:

   A. LAG SCREWS - HEX HEAD, CONFORMING TO FEDERAL SPECIFICATIONS FF-B-561, 3/8" DIAMETER EXCEPT AS NOTED. LENGTH OF EMBEDMENT 75% OF MEMBER THICKNESS, MAXIMUM 6".
   B. MACHINE BOLTS AND THREADED RODS - ASTM A307, 5/8" DIAMETER EXCEPT WHERE NOTED.
   C. STEEL HARDWARE - ASTM A36.

8. PROVIDE BOLTING ASSEMBLY INCLUDING PLATE WASHERS, LOCK WASHERS, NUTS BOLTS, ETC.

PRE-FABRICATED WOOD TRUSS NOTES

1. PRE-FABRICATED WOOD TRUSSES SHALL COMPLY WITH THE REQUIREMENTS OF THE FOLLOWING; CODES AND STANDARDS AMERICAN INSTITUTE OF TIMBER CONSTRUCTION, "NATIONAL DESIGN SPECIFICATIONS FOR STRESS-GRADE LUMBER AND ITS FASTENINGS" NATIONAL FOREST PRODUCTS ASSOCIATION, AND THE TRUSS PLATE INSTITUTE, "HANDLING, INSTALLING, AND BRACING METAL PLATE CONNECTED WOOD TRUSSES" HIB-91.

2. SHOP DRAWINGS SHALL CLEARLY SHOW ALL TRUSS DIMENSION, MEMBER SIZES, TEMPORARY AND PERMANENT BRACING, CONNECTOR PLATE SIZES, AND MISCELLANEOUS ANCHORS. CALCULATIONS SHALL INDICATE ASSUMED LOADINGS, MEMBER FORCES, JOINT DISPLACEMENTS, AND DESIGN OF ALL CONNECTIONS.

3. PRE-FABRICATED TRUSSES SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF GEORGIA.

4. SUBMIT SHOP DRAWINGS FOR REVIEW. SHOP DRAWINGS AND CALCULATIONS SHALL BEAR THE SIGNATURE AND SEAL OF A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF GEORGIA. ALL PREENGINEERED TRUSS SHOP DRAWINGS SHALL BE AVAILABLE ON THE JOB SITE DURING THE TIMES OF INSPECTION AND SHALL BEAR CLEAR INDICATION THAT THEY HAVE BEEN REVIEWED AND APPROVED BY THE PROJECT STRUCTURAL ENGINEER OF RECORD.

5. TRUSSES SHALL BE DESIGNED TO SUSTAIN THE LOADS, AND LOAD COMBINATIONS, AND BE WITHIN THE DEFLECTION CRITERIA AS MANDATED BY THE 2018 INTERNATIONAL BUILDING CODE WITH GEORGIA STATE AMENDMENTS.

   A. TOP CHORD DEAD LOAD 10 PSF
   B. TOP CHORD LIVE LOAD 20 PSF
   C. BOTTOM CHORD DEAD LOAD 5 PSF
   D. BOTTOM CHORD LIVE LOAD 0 PSF

6. TRUSSES SHALL BE DESIGNED TO EXERT NO HORIZONTAL THRUST AT THEIR POINTS OF SUPPORT.

7. LUMBER SPECIES AND GRADE SHALL BE AS SPECIFIED BY TRUSS MANUFACTURER.

8. CONNECTOR PLATES SHALL BE A MINIMUM 20 GAUGE GALVANIZED "GANGNAIL" CONNECTOR. TRUSS MANUFACTURER SHALL SUBMIT ENGINEERING DATA ON PARTICULAR PLATES USED.

9. STRAP ANCHORS AND METAL TIES MINIMUM 18 GAUGE MATERIAL, EXCEPT WHERE NOTED.

10. ERECT TRUSSES IN STRICT ACCORDANCE WITH INSTRUCTIONS FROM THE TRUSS MANUFACTURER. DO NOT HANDLE TRUSSES IN ANY WAY WHICH WILL WEAKEN THEM OR CAUSE TRUSSES TO DISTORT ABOUT THEIR WEAK AXIS. DO NOT PLACE ANY LOADS ON TRUSSES BEFORE THEY HAVE BEEN INSTALLED AND FULLY BRACED.

11. FURNISH AND INSTALL ALL TRUSS BRACING IN STRICT ACCORDANCE WITH THE TRUSS PLATE INSTITUTE'S "BUILDING COMPONENT SAFETY INFORMATION BOOKLET, BCSI 1-03, AND RELATED SUMMARY SHEETS.

12. BUILT-UP TRUSSES SHALL CONSIST OF TWO OR MORE SINGLE TRUSSES, FABRICATED AS INDIVIDUAL TRUSSES, AND FASTENED TOGETHER TO FORM A SINGLE TRUSS. ALL HARDWARE REQUIRED FOR CONNECTIONS BETWEEN PREENGINEERED TRUSSES SHALL BE DESIGNED AND SPECIFIED BY THE TRUSS DESIGN ENGINEER.

DESIGN CRITERIA NOTES

1. **GENERAL BUILDING CODE** - THE CONSTRUCTION DOCUMENTS ARE BASED ON THE REQUIREMENTS OF THE 2018 INTERNATIONAL BUILDING CODE WITH GEORGIA STATE AMENDMENTS.

2. **BUILDING RISK CATEGORY** - THE BUILDING HAS BEEN ASSIGNED A RISK CATEGORY IN ACCORDANCE WITH PREVIOUSLY MENTIONED CODE WITH THE FOLLOWING CRITERIA:

   A. RISK CATEGORY: III, BUILDINGS AND OTHER STRUCUTRES DESIGNATED AS ESSENTIAL FACILITIES.

3. **DEAD AND LIVE LOADS**

   A. THE DEAD LOADS ARE THE SELF WEIGHT OF MATERIALS OF CONSTRUCTION INCORPORATED INTO AND ON THE BUILDING.

   B. THE UNIFORMLY DISTRIBUTED AND/OR CONCENTRATED LIVE LOADS USED IN THE DESIGN OF THE BUILDING ARE BASED ON THE FOLLOWING INTENDED USE OR OCCUPANCIES:

      a. CORRIDORS: 100 POUNDS PER SQUARE FOOT (PSF)
      b. STAIRS AND EXITS: 100 PSF / 300 LB ON TREADS, 4 SQUARE INCH AREA
      c. STORAGE, LIGHT: 125 PSF
      d. OFFICE: 50 PSF
      e. ROOFS: 20 PSF / 300 LB ON MAINTENANCE SURFACE
      f. PARTITION LOADS: 15 PSF, WHERE APPLICABLE

4. **ROOF SNOW LOAD DATA** - SNOW LOADS ARE BASED ON CHAPTER 7 OF THE AMERICAN SOCIETY OF CIVIL ENGINEERS, MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES, ASCE 7 AND THE FOLLOWING CRITERIA:

   A. GROUND SNOW LOAD (Pg): 10 PSF
   B. FLAT-ROOF SNOW LOAD (Pf): 8.4 PSF
   C. SNOW EXPOSURE FACTOR (Ce): 1.0
   D. SNOW LOAD IMPORTANCE FACTOR (Is): 1.2
   E. THERMAL FACTOR (Ct): 1.0
   F. SLOPE FACTORS (Cs): 1.0
   G. DRIFT SURCHARGE LOADS (Pd): 30 PSF
   H. WIDTH OF SNOW DRIFTS (w): 8 FT

5. **WIND DESIGN DATA** - WIND PRESSURES ARE BASED ON CHAPTER 26 OF THE AMERICAN SOCIETY OF CIVIL ENGINEERS, MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES, ASCE 7 AND THE FOLLOWING CRITERIA:

   A. BASIC DESIGN WIND SPEED (V): 117 MPH
   B. ALLOWABLE STRESS DESIGN WIND SPEED (Vasd): 91 MPH
   C. RISK CATEGORY: IV
   D. WIND EXPOSURE: C
   E. INTERNAL PRESSURE COEFFICIENT (GCPi): + 0.18/- .18
   F. COMPONENTS AND CLADDING: SEE DIAGRAM

6. **EARTHQUAKE DESIGN DATA** - THE STRUCTURE AND COMPONENTS OF THE BUILDING HAVE BEEN DESIGNED IN ACCORDANCE WITH THE PREVIOUSLY MENTIONED CODE WITH THE FOLLOWING CRITERIA:

   A. RISK CATEGORY: IV
   B. SEISMIC IMPORTANCE FACTOR (Ie): 1.5
   C. 0.2 SEC MAPPED SPECTRAL RESPONSE (Ss): 0.313
   D. 1 SEC MAPPED SPECTRAL RESPONSE (S1): 0.100
   E. SITE CLASS: D
   F. 0.2 SEC SPECTRAL RESPONSE COEF. (Sds): 0.318
   G. 1 SEC SPECTRAL RESPONSE COEF. (Sd1): 0.160
   H. SEISMIC DESIGN CATEGORY: B
   I. BASIC SEISMIC FORCE-RESISTING SYSTEMS: WOOD SHEAR WALLS
   J. DESIGN BASE SHEAR(S): 1.47 KIPS
   K. SEISMIC MODIFICATION COEF. (CS): 0.073
   L. RESPONSE MODIFICATION COEF. (R): 6.5
   M. ANALYSIS PROCEDURE USED: EQUIVALENT LATERAL FORCE PROCEDURE (ELFP)

7. **GEOTECHNICAL INFORMATION** - THE STRUCTURE HAS BEEN DESIGNED BASED ON INFORMATION PROVIDED IN THE GEOTECHNICAL ENGINEERING REPORT BY ECS SOUTHEAST, LLP (DATED: 5/18/2022) AND THE FOLLOWING CRITERIA:

   A. ALLOWABLE BEARING: 3000 PSF
   B. SUBGRADE MODULUS: 130 PCI

8. **FLOOD DESIGN DATA** - THE BUILDING IS NOT LOCATED IN WHOLE OR IN PART WITHIN A FLOOD HAZARD AREA AS ESTABLISHED PER THE PREVIOUSLY MENTIONED CODE.

9. **ROOF RAIN LOAD DATA** - THE DESIGN RAINFALL BASED ON THE 100-YEAR HOURLY RAINFALL RATE OR DETERMINED BY LOCAL WEATHER USED IN THE DESIGN OF THE BUILDING IS BASED ON THE FOLLOWING:

   A. RAIN INTENSITY (i): **3.3** IN/HR

10. **SEISMIC DEMANDS ON NON-STRUCTURAL COMPONENTS**, AND CONNECTIONS OF THOSE COMPONENTS TO THE PRIMARY STRUCTURE SHALL BE DESIGNED IN ACCORDANCE WITH THE PREVIOUSLY MENTIONED CODE, THE GENERAL SEISMIC CRITERIA LISTED ABOVE, AND THE REQUIREMENTS OF ASCE 7, CHAPTER 13 AS APPROPRIATE.

11. **HANDRAILS AND GUARDS** - THE HANDRAIL ASSEMBLIES AND GUARDS SHALL BE DESIGNED FOR 50 PLF OR A CONCENTRATED LOAD OF 200 LBS AT ANY POINT APPLIED IN ANY DIRECTION AT THE TOP AND TO TRANSFER THIS LOAD THROUGH THE SUPPORTS TO THE STRUCTURE. THESE LOADS NEED NOT BE ASSUMED TO ACT CONCURRENTLY.

12. **INTERIOR WALLS AND PARTITIONS** - INTERIOR WALLS AND PARTITIONS THAT EXCEED 6 FEET IN HEIGHT SHALL HAVE ADEQUATE STRENGTH TO RESIST LOADS THEY ARE SUBJECT TO, BUT NOT LESS THAN A HORIZONTAL UNIFORM LOAD OF 5 PSF.

13. **FUTURE EXPANSION** - NO PROVISIONS HAVE BEEN MADE IN THE STRUCTURAL DESIGN FOR FUTURE HORIZONTAL OR VERTICAL BUILDING EXPANSION.

14. **ROOF TOP EQUIPMENT ANCHORAGE** - ALL ROOF TOP EQUIPMENT CURBS, MECHANICAL EQUIPMENT, TIE DOWNS, AND CONNECTIONS OF ALL EQUIPMENT TO BUILDING STRUCTURE FOR WIND AND SEISMIC LOADING ARE TO BE DESIGNED BY A REGISTERED PROFESSIONAL ENGINEER RETAINED BY THE EQUIPMENT SUPPLIER.

SPECIAL INSPECTION NOTES

1. THE OWNER'S TESTING LABORATORY/INSPECTION AGENCY SHALL PROVIDE SPECIAL INSPECTION SERVICES IN ACCORDANCE WITH THE 2018 INTERNATIONAL BUILDING CODE WITH GEORGIA STATE ADMENDMENTS FOR THE FOLLOWING ITEMS AND WITH THE SCHEDULE OF SPECIAL INSPECTIONS OF THE PROJECT DOCUMENTS.

   A. CONCRETE CONSTRUCTION

      a. ANCHORS INSTALLED IN CONCRETE.
      b. CONCRETE WORK.
      c. REINFORCING STEEL PLACEMENT.
      d. ADHESIVE ANCHORS.

   B. SOILS

      a. PREPARED EARTH FILL.

2. STATEMENT OF SPECIAL INSPECTIONS

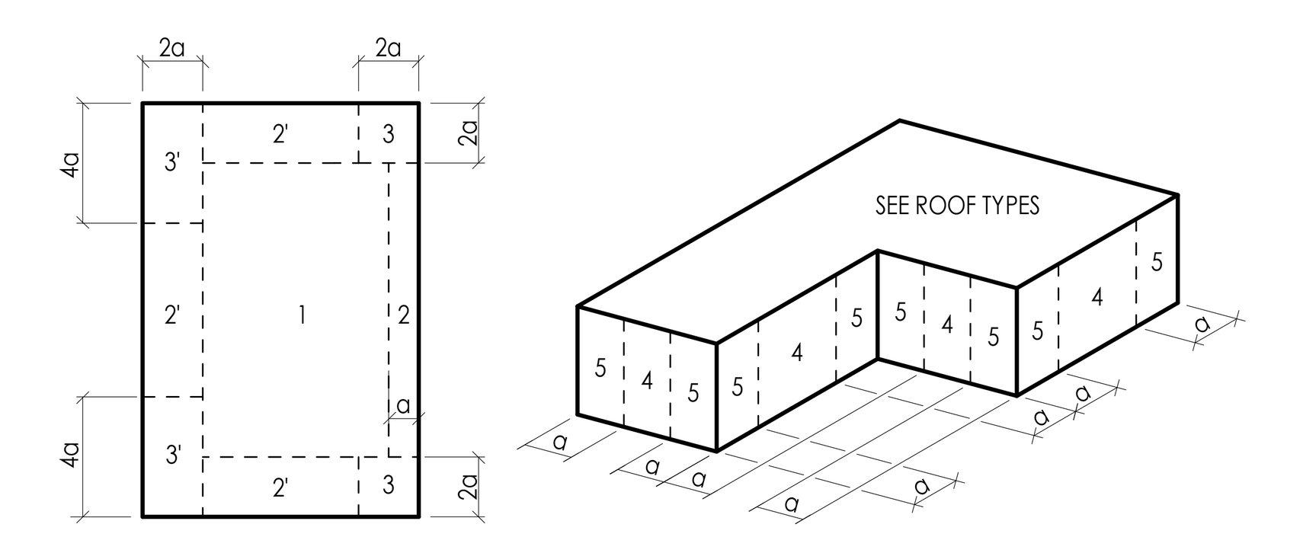
   A. SPECIAL INSPECTION IS REQUIRED FOR THE ITEMS LISTED ABOVE. REFER TO PROJECT SPECIFICATIONS FOR TYPE AND EXTENT OF EACH SPECIAL INSPECTION AND EACH TEST. THE SPECIFICATION ALSO INDICATES WHETHER CONTINUOUS OR PERIODIC INSPECTION IS REQUIRED FOR THE ITEMS LISTED ABOVE ADDITIONAL INFORMATION.

   B. APPROVED SPECIAL INSPECTORS SHALL FURNISH INSPECTION REPORTS TO THE BUILDING OFFICIAL OR HIS/HER DESIGNEE AND TO THE DESIGN PROFESSIOANL WHICH INDICATE THAT THE WORK INSPECTED WAS DONE IN CONFORMANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS. A FINAL REPORT WHICH DOCUMENTS THE RESULTS OF THE SPECIAL INSPECTIONS PERFORMED INCLUDING CORRECTION OF ANY DEFICIENCIES IDENTIFIED DURING INSPECTION SHALL BE SUBMITTED PERIODICALLY AT A FREQUENCY APPROVED PRIOR TO CONSTRUCTION.

COMPONENTS AND CLADDING DESIGN PRESSURES

ZONE	EFFECTIVE WIND AREA			
	10 SQ. FT.	20 SQ. FT.	50 SQ. FT.	100 SQ. FT.
1	16 / -47.5 PSF	16 / -44.3 PSF	16 / -40.2 PSF	16 / -37.1 PSF
1'	16 / -27.3 PSF	16 / -27.3 PSF	16 / -27.3 PSF	16 / -27.3 PSF
2	16 / -62.6 PSF	16 / -58.6 PSF	16 / -53.3 PSF	16 / -49.3 PSF
3	16 / -85.4 PSF	16 / -77.3 PSF	16 / -66.6 PSF	16 / -58.6 PSF
4	29.8 / -32.3 PSF	28.4 / -31.0 PSF	26.7 / -29.2 PSF	25.3 / -27.8 PSF
5	29.8 / -40.0 PSF	28.4 / -37.2 PSF	26.7 / -33.7 PSF	25.3 / -31.0 PSF
OVERHANG 1 & 1'	-43.0 PSF	-42.2 PSF	-41.2 PSF	-40.4 PSF
OVERHANG 2	-58.1 PSF	-52.7 PSF	-45.6 PSF	-40.4 PSF
OVERHANG 3	-80.8 PSF	-71.4 PSF	-59.0 PSF	-49.6 PSF

SCHEDULE NOTES:
1. PRESSURES SHOWN ARE APPLIED NORMAL TO THE SURFACE.
2. PLUS AND MINUS SIGNS SIGNIFY PRESSURES ACTING TOWARD AND AWAY FROM THE SURFACE, RESPECTIVELY.
3. DISTANCE 'a' SHALL BE: 3' FOR ALL INSTANCES SHOWN IN THE DIAGRAMS BELOW.
4. SEE 'DESIGN CRITERIA NOTES' ON DRAWING S-800 FOR OTHER PERTINENT INFORMATION.
5. ALL NET DESIGN WIND PRESSURE VALUES ARE TAKEN FROM ASCE 7-16 SECTION 30.5. ALL WIND PRESSURES ARE TO BE CONSIDERED AS ULTIMATE VALUES.



MONOSLOPE ROOF 3° < 10° EXTERIOR WALLS

COMPONENT AND CLADDING PRESSURE ZONE DIAGRAMS
(FOR USE WITH SCHEDULE ABOVE)

FASTENING SCHEDULE

	CONNECTION	ALLOWABLE FASTENERS	LOCATION / METHOD
1	JOIST TO SILL OR GIRDER	(3) 16d COMMON (4) 3" x 0.131" NAIL	TOENAIL
2	BRIDGING TO JOIST	(2) 8d COMMON (3) 3" x 0.131" NAIL	TOE NAIL EACH END
3	SOLE PLATE TO JOIST OR BLOCKING	16d COMMON @ 16" O.C. 3" x 0.131" NAIL @ 8" O.C.	TYPICAL FACE NAIL
	SOLE PLATE TO JOIST OR BLOCKING @ SHEARWALL PANEL	(3) 16d COMMON @ 16" O.C. 3" x 0.131" NAIL @ 8" O.C.	TYPICAL FACE NAIL
4	STUD TO TOP/SOLE PLATE	(3) 16d COMMON (4) 3" x 0.131" NAIL	END NAIL
5	DOUBLE STUDS	16d COMMON @ 16" O.C. 3" x 0.131" NAIL @ 8" O.C.	FACE NAIL
6	DOUBLE TOP PLATES	16d COMMON @ 16" O.C. 3" x 0.131" NAIL @ 12" O.C.	TYPICAL FACE NAIL
	DOUBLE TOP PLATES	(8) 16d COMMON (12) 3" x 0.131" NAIL	AT LAP SPLICES
7	BLOCKING BETWEEN JOISTS, TRUSSES, OR RAFTERS TO TOP PLATE	(3) 8d COMMON (3) 3" x 0.131" NAIL	TOENAIL
8	RIM JOIST TO TOP PLATE	8d COMMON @ 6" O.C. 3" x 0.131" NAIL @ 6" O.C.	TOENAIL
9	TOP PLATES, LAPS, AND INTERSECTIONS	(2) 16d COMMON (3) 3" x 0.131" NAIL	FACE NAIL
10	CEILING JOISTS TO PLATE	(3) 8d COMMON (5) 3" x 0.131" NAIL	TOE NAIL
11	CONTINUOUS HEADER TO STUD	(4) 8d COMMON (4) 3" x 0.131" NAIL	TOE NAIL
12	CEILING JOISTS TO PARALLEL RAFTERS	(3) 16d COMMON, MINIMUM (4) 3" x 0.131" NAIL	FACE NAIL
13	RAFTER / TRUSS TO TOP PLATE	(3) 16d COMMON (4) 3" x 0.131" NAIL	TOENAIL UPLIFT TIES ALSO REQUIRED
14	BUILT UP CORNER STUDS	16d COMMON @ 24" O.C. 3" x 0.131" NAIL @ 16" O.C.	
15	BUILT UP GIRDER AND BEAMS	20d COMMON @ 24" O.C. 3" x 0.131" NAIL @ 16" O.C.	FACE NAIL AT TOP AND BOTTOM STAGGERED ON OPPOSITE SIDES
14	COLLAR TIE TO RAFTER	(3) 10d COMMON (4) 3" x 0.131" NAIL	FACE NAIL
15	JACK RAFTER TO HIP	(3) 10d COMMON (4) 3" x 0.131" NAIL	TOENAIL
		(2) 16d COMMON (3) 3" x 0.131" NAIL	FACE NAIL
16	ROOF RAFTER TO 2x RIDGE	(2) 16d COMMON (3) 3" x 0.131" NAIL	TOENAIL
		(2) 16d COMMON (3) 3" x 0.131" NAIL	FACE NAIL
17	JOISTS TO BAND JOIST	(4) 16d COMMON (5) 3" x 0.131" NAIL	FACE NAIL
18	PANEL EDGE BLOCKING	(3) 8d COMMON (3) 3" x 0.131" NAIL	TOE NAIL
19	STRUCTURAL WOOD PANEL FLOOR AND ROOF SHEATHING	8d NAILS 2 3/8" x 0.113" NAIL	PATTERN: 6" O.C. PANEL PERIMETER, 12" O.C. AT INTERMEDIATE SUPPORTS
20	STRUCTURAL WOOD PANEL WALL SHEATHING	8d NAILS 2 3/8" x 0.113" NAIL	PATTERN: 6" O.C. PANEL PERIMETER, 12" O.C. AT INTERMEDIATE SUPPORTS
21	STRUCTURAL WOOD PANEL SHEARWALL PANEL SHEATHING	8d NAILS ONLY	PATTERN: 4" O.C. PANEL PERIMETER, 12" O.C. AT INTERMEDIATE SUPPORTS

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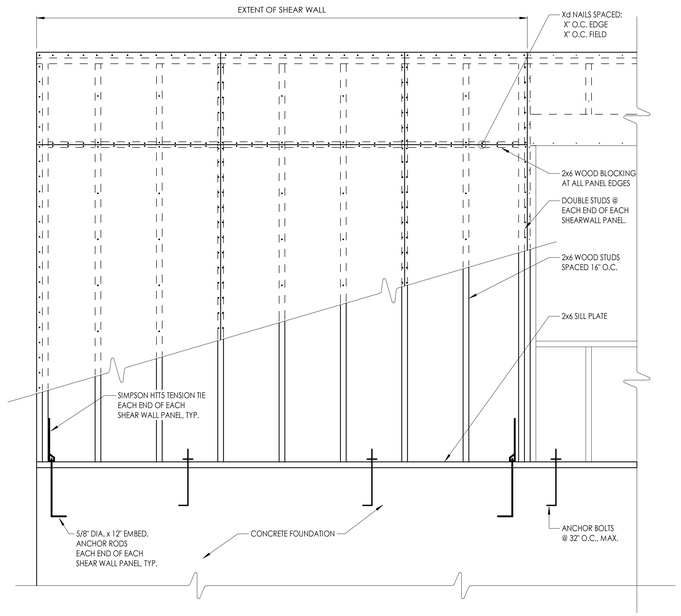
PROJECT INFORMATION
Project Number
16526.00
Client Name
City of Jasper
Project Name
Fire Station Addition
Project Address
277 Burton Street - Jasper, Georgia 30143

PROJECT ISSUE & REVISION SCHEDULE
vv Date Description

PROFESSIONAL STAMPS
GEORGIA REGISTERED No. SE000223 STRUCTURAL ENGINEER BRIAN STEVEN COONEY
07/01/2022

SHEET INFORMATION
Issued: 07/01/22
Scale: As indicated
Project Status: ISSUE FOR CONSTRUCTION
Drawn By: CPL
Checked By: BSC
Drawing Title: TYPICAL DETAILS AND NOTES
Drawing Number: - S800

6/30/2022 5:47:00 PM S:\Projects\Jasper_C\Fire Station Addtn\D Design\06 CAD\Revit\Central

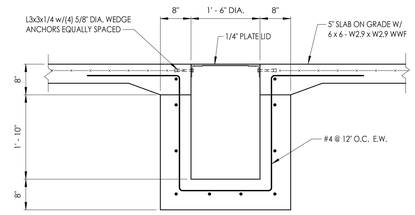


NOTES:

1. SHEATHING PANEL IS 15/32" APA RATED STRUCTURAL I PLYWOOD SHEATHING.

1 S801 **TYPICAL SHEAR WALL CONSTRUCTION DETAIL**

3/4" = 1'-0"



2 S801 **TYP. SUMP PIT DETAIL**

3/4" = 1'-0"

CONCRETE REINFORCING LAP/EMBEDMENT SCHEDULE

BAR SIZE SI (METRIC)	LAP LENGTH		EMBEDMENT LENGTH	
	f'c = 3,000 PSI	f'c = 4,000 PSI	f'c = 3,000 PSI	f'c = 4,000 PSI
#3 (#10)	22"	20"	17"	15"
#4 (#13)	29"	25"	22"	19"
#5 (#16)	36"	32"	28"	24"
#6 (#19)	43"	38"	33"	29"
#7 (#22)	63"	54"	48"	42"
#8 (#25)	72"	62"	55"	48"
#9 (#29)	81"	70"	62"	54"
#10 (#32)	91"	79"	70"	61"
#11 (#36)	101"	87"	78"	67"
#14 (#43)	NP	NP	93"	81"
#18 (#57)	NP	NP	124"	108"

NP = NOT PERMITTED

SCHEDULE NOTES:

1. VALUES ARE BASED ON GRADE 60, UNCOATED REINFORCING, AND NORMAL WEIGHT CONCRETE.
2. VALUES FOR BEAMS OR COLUMNS ARE BASED ON TRANSVERSE REINFORCEMENT AND COVER, MEETING CODE REQUIREMENTS.
3. VALUES ARE BASED ON CONCRETE COVER NOT LESS THAN 1 BAR DIAMETER, AND SPACING NOT LESS THAN 2 BAR DIAMETERS.
4. VALUES LISTED ABOVE TO BE USED UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS.
5. FOR ALL OTHER CRITERIA, REFER TO PROJECT SPECIFICATIONS.

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THE FIRST MOUNTAIN CITY
JASPER GEORGIA
1857

PROJECT INFORMATION

Project Number
16526.00

Client Name
City of Jasper

Project Name
Fire Station Addition

Project Address
277 Burton Street - Jasper, Georgia 30143

PROJECT ISSUE & REVISION SCHEDULE

nr	Date	Description

PROFESSIONAL STAMPS

GEORGIA REGISTERED No. SE000225 STRUCTURAL ENGINEER BRIAN STEVEN COONEY
07/01/2022

SHEET INFORMATION

Issued: 07/01/22
Scale: 3/4" = 1'-0"
Project Status: ISSUE FOR CONSTRUCTION
Drawn By: CPL
Checked By: BSC
Drawing Title: TYPICAL DETAILS AND SCHEDULES

Drawing Number
S801

HVAC SPECIFICATIONS

HVAC GENERAL

Refer to all other drawings and specifications, and be responsible for all applicable provisions therein. Furnish and install all necessary labor and materials for a complete system. Any appliances or materials obviously a part of the system and necessary for its proper operation, although not specifically mentioned herein, shall be furnished and installed as if called for in detail. Workmanship and materials shall be in accordance with the International Mechanical Code, all state and local codes, and NFPA 90A. Attain and pay for all required permits and fees. Equipment and materials shall be new unless otherwise specified. Mechanical Contractor shall be licensed to handle CFC refrigerants.

Drawings are generally diagrammatic and do not necessarily show every fitting, offset, drop and rise of runs, and detail. Install ducts, equipment, and controls in a neat, workmanlike manner and in accordance with good practice for a complete, workable installation. Avoid conflict with other work; make adequate provisions for preventing noise and vibration. Drawings indicate locations of fixtures, apparatus, ductwork and piping; while these are to be followed as closely as possible, if it is necessary to change the location of same to accommodate building conditions, make changes without additional cost to the Owner and as approved by the Architect. Provide adequate access to equipment and apparatus requiring operation, service, or maintenance within the life of the system. Do not run piping or ductwork, or locate equipment (with respect to switchboards, panel boards, power panels, motor control centers, or dry type transformers) within 42 inches in front of equipment, over equipment, or within 36 inches horizontally of same space.

COORDINATION

Coordinate all work under this Division with work under other Divisions. Provide adjustments as necessary. Equipment, apparatus, ductwork, piping, etc., installed without regard for the space requirements of other trades will be reworked at the expense of the installing subcontractor if it creates an unnecessary hindrance to the installation of another trade's work. All items mounted at or below the ceiling and any item penetrating the ceiling shall be coordinated with the architectural reflected ceiling plans.

PROTECTION OF WORK DURING CONSTRUCTION

Provide protective covers, skids, plugs, or caps to protect equipment and materials from damage and deterioration during construction. Protect exposed coils with plywood or other suitable rigid covers to avoid damage to fins.

Protect all equipment and materials from damage. Any damage shall be repaired using the same materials at the Contractor's cost.

SUBMITTALS

Submit for review five copies of shop drawings on all equipment, grilles and diffusers, automatic control diagrams, ductwork layout, piping layout, and sheet metal construction standards.

Submit all shop drawings for review and approval prior to purchase, fabrication, and installation.

TESTING

Refrigerant piping shall be leak tested using nitrogen and refrigerant charge with electronic leak detector. After repairing leaks, retest as required. After leak test, dehydrate by producing and holding vacuum of 2.5 in. hg. Maintain vacuum for 24 hours with maximum 0.05 in. pressure rise. If leakage exceeds 0.05 in., repeat all of test before dehydration.

All leaks shall be repaired by tightening, re-welding, or replacing pipe and fittings.

Adjust dampers, registers, and diffusers for proper air distribution. Check system under actual operating conditions, and make adjustments for a uniform temperature through the conditioned space.

CLEANING AND ADJUSTING

The exterior surfaces of all mechanical equipment, piping, ducts, etc., shall be cleaned of all grease, oil, paint, and other construction debris. Ducts, plenums, and casings shall be cleaned of all debris and blown free of all particles of rubbish and dust before installing outlet faces. Bearings that require lubrication shall be lubricated in accordance with the manufacturer's recommendations. All control equipment shall be adjusted to the settings indicated or required for performance as specified. Flush water piping systems until water runs clean. Remove all stickers, rust, stains, labels, and temporary covers before final acceptance. Remove foreign matter from equipment, piping and ductwork systems, and appurtenances. Clean and polish identification plates. Remove all trash and debris from the job site on a daily basis.

BALANCING

Contractor shall retain the services of an independent Test and Balance agency. Testing and balancing of the HVAC systems shall be performed in accordance with AABC or NEBB standards.

GUARANTEE

Materials and workmanship shall be guaranteed against defects for one year. Provide additional four years warranty on all compressors.

OPENINGS THROUGH ROOF AND EXTERIOR WALLS

Provide all necessary flashing and counterflashing to maintain the waterproof integrity of this building as required by the removal and/or installation of pipes, ducts, conduits, and equipment. Submit for review to the building management.

HVAC INSULATION

Quality Assurance: Specified components of this insulation system, including facings, mastics, and adhesives, shall have a fire hazard rating not to exceed 25 for flame spread and 50 for smoke developed rating, as per tests conducted in accordance with ASTM E84 (NFPA 255) methods.

Pipe Insulation:

TYPE P1 ASTM C534: Flexible, closed cell elastomeric, nominal 6 P.C.F. density, K factor 0.27 maximum at 75 degrees F mean, plenum rated.

Approved products: Armstrong AP Armaflex, Manville Aerotube II, Nomaco Therma-Cel, Rubatex R-180-F5.

Duct Insulation:

TYPE D1 ASTM C553 TYPE 1, CLASS B3: Fiberglass, nominal 1 (one) P.C.F. density blanket, K factor 0.31 maximum at 75 degrees F mean, with factory-applied FSK (Foil-Scrim-Kraft) vapor barrier jacket, for temperatures to 250 degrees F.

Approved products: CertainTeed "Standard Duct Wrap", Manville "Microlite", Owens/Corning Fiberglass RFK-75, Knauf "Ductwrap".

TYPE D2: Fiberglass, nominal 2.0 P.C.F. density liner, K factor 0.26 maximum at 75 degrees F mean, black coating, for temperatures to 250 degrees F.

Approved products: CertainTeed Ultralite Duct Liner 200, Manville Linacoustic, Knauf Duct Liner M.

Installation of Pipe Insulation:

Install insulation on pipe systems subsequent to testing and acceptance of test.

Maintain integrity of vapor-barrier jackets on pipe insulation, and protect to prevent puncture or other damage. Seal open ends of insulation with mastic. Sectionally seal all butt ends of all cold water piping insulation at fittings with white vapor barrier coating.

Cover valves, flanges, fittings, and similar items in each piping system with equivalent thickness and composition of insulation as applied to adjoining pipe run. Install factory-molded, precut or job-fabricated units (at Installer's option). Finish cold pipe fittings with white vapor barrier coating and hot piping with white vinyl acrylic mastic, both reinforced with glass cloth.

Extend piping insulation without interruption through walls, floors, and similar piping penetrations, except where otherwise indicated.

Installation of Ductwork Insulation:

Maintain integrity of vapor-barrier on ductwork insulation, and protect it to prevent puncture and other damage. Tape all punctures. Secure all ductwork with galvanized wire 12 inches O.C. Secure ductwork with outward clinching staples. Seal all longitudinal and circumferential joints with FSK tape.

Extend ductwork insulation without interruption through walls, floors, and similar ductwork penetrations, except where otherwise indicated.

Omit insulation on return ductwork where internal insulation or sound-absorbing linings is installed.

All internal insulation shall be adhered to the duct with 100% coverage of approved fire-retardant mastic. All edges shall be sealed and any abrasions or tears repaired with mastic.

Increase indicated duct sizes to compensate for liner thickness.

HVAC INSULATION (CONTINUED)

Insulation Requirements:

Refrigerant Gas Piping: TYPE P1, 1/2-INCH THICKNESS

Interior Condensate Drain Piping: TYPE P1, 1/2-INCH THICKNESS

Ductwork, Supply, Return and Outside Air: TYPE D1, 2-INCH THICKNESS

Ductwork, Rectangular Supply and Return within 5 feet of fan-coil unit: TYPE D2, 1-INCH THICKNESS

SHEET METAL WORK

Except as otherwise noted, all ductwork and other sheet metal work shall be installed in accordance with latest edition of the Sheet Metal and Air Conditioning Contractor National Association, Inc. (SMACNA), HVAC Duct Construction Standards manual. Ductwork shall be galvanized sheet steel, unless otherwise noted. Fiberglass ductwork is NOT acceptable.

Round ductwork shall be spiral seam type, with machine-formed radius elbows.

Minimum ductwork static pressure construction shall be 2-inch W.G. All ducts shall be seal Class "C".

Low pressure flexible duct shall be similar to Flexmaster Type 5 or approved equal, with 1-inch thick insulation and shall conform to U.L. 181 and NFPA Bulletin 90A. Maximum length shall not exceed four (4) feet.

Volume Dampers: Same material as duct, per SMACNA, except provide bearing at one end of damper rod and quadrant with lever and lockscrew at other end. For insulated ducts, quadrants mounted on collar shall clear insulation; install with levers accessible outside insulation. Balancing dampers shall be the opposed blade type.

Flexible Connections: Neoprene-coated glass fabric, 30 oz. per square yard with sewed and cemented seams, similar to vent fabrics. Provide flexible connections between all equipment and rigid ductwork. Fabric connections shall be at least four (4) inches long and have metal collar at each end; allow at least one-inch slack to eliminate vibration transmission.

Duct sizes shown are clear inside dimensions. Where internal insulation is called for, dimensions shall be increased by thickness of insulation.

For round duct take-offs from rectangular metal ducts, use Genflex Model No. SM-1DEL "Spin-in" fitting.

PIPING

General: Piping shall be complete with pipe fittings, valves, couplings, hanger rods, hangers, supports, guides, sleeves, and accessories in conformance with the latest codes and ASME, ANSI, ASTM, and MSS Standards. For pipe sizes not indicated on plans, see manufacturer's equipment connection details. Avoid entry of foreign matter into piping during construction. After completion of piping, flush water system with water until clear. Provide minimum pitch to insure adequate venting and drainage.

Piping Material: Refrigerant piping shall be copper ASTM #B280, factory cleaned, nitrogen charged, and capped. Condensate discharge piping shall be schedule 40 PVC.

Refrigerant Pipe Size: Liquid and suction refrigerant lines shall be sized per manufacturer's recommendations.

AIR DISTRIBUTION DEVICES

Diffusers, registers, and grilles shall be as scheduled on the drawings, Price models noted, or equal.

Ceiling diffusers shall be 4-way throw, unless shown otherwise on drawings.

All diffusers and registers shall be furnished with opposed-blade dampers.

Exact location of all ceiling-mounted diffusers, grilles, and registers to be coordinated with lighting layout and reflected ceiling plan.

LOUVERS

Fresh air intake louvers shall be 6" deep extruded aluminum, drainable blade type with rear mounted birdscreen, Ruskin ELF6375DX, or equal.

MOTORIZED AIR INTAKE DAMPERS

Motorized dampers at fresh air intake louvers shall be galvanized steel, parallel blade type, with blade edge and end seals.Damper actuators shall be two-position, motor operated, with spring return. Dampers shall be Ruskin cd36, or equal, with Belimo, or equal, actuators.

EQUIPMENT

Split system heat pump units: Direct expansion split system heat pumps consisting of an outdoor, air cooled heat pump with two-stage compressor and an indoor fan-coil unit complete with direct-driven centrifugal blower assembly, evaporator coil with drain pan, auxiliary electric resistance heater and inlet filter rack with filter. Capacities shall be as scheduled on the drawings. Units shall be provided with a seven day programmable wall thermostat with "FAN ON-AUTO" control. Split system heat pumps shall be Carrier, as scheduled, or equal Trane, York or Lennox.

Fans: Shall be Cook models, as scheduled on the drawings, or equal. Direct drive fans shall be furnished with solid state speed controls to allow balancing to the specified air flow. Speed controllers shall be mounted directly to the fan housing, unless noted otherwise. Ceiling fans shall be provided with acoustically insulated housings, direct-driven centrifugal blowers inlet grille, outlet duct connection with gravity shutter, and integral disconnect. Wall propeller fans shall be constructed of galvanized steel, with venturi fan panel, belt driven fan wheel, wall sleeve with OSHA inlet guard, gravity backdraft damper and disconnect switch.

AUTOMATIC CONTROLS

The intent of this section is to obtain a complete, functional control for all mechanical equipment, systems, and devices of the project. This Contractor is to furnish and install, as required, electric/electronic controls, all necessary components, control wiring, interlock wiring, contactors, relays, control transformers, alarms, control valves, etc., to achieve the desired control operation for the air conditioning systems.

Control Wiring: Shall be #12 CU. THHN installed in EMT conduit (minimum 1/2-inch diameter) or plenum-rated cable.

Automatic Dampers: Automatic dampers shall be similar to Ruskin Model CD40. Automatic damper shall be factory-fabricated and sized, and provided by control manufacturer.

Sequence of Operation:

Split system heat pump unit shall be controlled by a wall mounted seven-day programmable thermostat. When the system is in the occupied mode, the blower shall run continuously. In the unoccupied mode, the blowers shall cycle with the heating or cooling. The motorized outside air damper shall be interlocked to open only when the system is operating in occupied mode.

Exhaust fan F-1 shall be controlled by a manual wall switch.

Controls for fan F-2 shall consist of a wall mounted "hand-off-auto" magnetic starter, mounted on wall above door controls. In the "hand" position, fan shall run. In the "off" position, fan shall remain off. In the auto position fan shall be controlled by any one of the following sensors, wired in parallel. A carbon monoxide sensor shall start fan F-2 whenever the level of carbon monoxide in the space is above setpoint. A carbon dioxide sensor shall start fan F-2 whenever the level of carbon dioxide in the space is above setpoint. A photo-electric sensor, mounted at 7'-6" AFF, with the beam source at one end of the bay and the receiver at the opposite end of the bay, shall start fan F-2 whenever any truck breaks the beam while leaving or entering any one of the five bays. once fan F-2 is started by any one of these three sensors, it shall run for 15 minutes (adjustable), then stop. Whenever fan F-2 is running, the motorized damper at the intake louver shall be open.

Controls for fan F-3 shall consist of a wall mounted "on-off" magnetic starter, mounted on wall above door controls. In the "on" position, fan shall run. In the "off" position, fan shall remain off. Whenever fan F-3 is running, the motorized damper at the intake louver shall be open.

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THE FIRST MOUNTAIN CITY
JASPER GEORGIA
1857

PROJECT INFORMATION

Project Number
16526.00

Client Name
City of Jasper

Project Name
Fire Station Addition

Project Address
277 Burton Street - Jasper, Georgia 30143

PROJECT ISSUE & REVISION SCHEDULE

w	Date	Description

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HVAC SPECIFICATIONS

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M100

SPLIT SYSTEM HEAT PUMP UNITS

INDOOR UNIT											OUTDOOR UNIT						REMARKS
SYMBOL	AIR FLOW DATA				COOLING DATA				HEATING DATA		MODEL	SYMBOL	AMBIENT AIR TEMP (COOLING)	AMBIENT AIR TEMP (HEATING)	SEER	HSPF	MODEL	
	SUPPLY CFM	O.A. CFM MAX/MIN	E.S.P. IN. W.G.	MAX. HP	TOTAL MBH	SENSIBLE MBH	EAT °F DB	EAT °F WB	REFRIG. HEAT AT 47°F AMBIENT BTUH	ELECTRIC HEAT KW								
FCU-1	700	100	0.80	1/2	24.0	17.1	80	67	25,000	7.5	CARRIER FV4CNF002	HP-1	95°F	47°F	17.0	9.0	CARRIER 25HCB624	(1)

(1) PROVIDE COMMERCIAL, SEVEN-DAY PROGRAMMABLE WALL THERMOSTAT WITH FAN ON/AUTO CONTROL. SET FAN TO RUN CONTINUOUS DURING OCCUPIED HOURS.

FANS

MARK	SERVICE	TYPE	CFM	ESP IN W.C.	MAX. RPM	MAX. H.P.	DRIVE	MAX. SONES	CONTROLLED BY	MODEL	REMARKS
F-1	TOILET EXH	CEILING	70	0.38	900	1/10	DIRECT	1.5	WALL SWITCH	COOK GC146	(1)
F-2	VENTILATION	WALL PROP	5000	0.25	505	1.0	BELT	14.5	(2)	COOK 36XLPH	(4)
F-3	VENTILATION	WALL PROP	5000	0.25	505	1.0	BELT	14.5	(3)	COOK 36XLPH	(4)

(1) PROVIDE SPEED CONTROLLER, MOUNTED TO FAN HOUSING, TO SET TOTAL AIR FLOW. PROVIDE FAN WITH INLET GRILLE, OUTLET DUCT COLLAR, BACKDRAFT DAMPER AND DISCONNECT.

(2) CONTROLS FOR FAN F-2 SHALL CONSIST OF A WALL MOUNTED "HAND-OFF-AUTO" MAGNETIC STARTER, MOUNTED ON WALL ABOVE DOOR CONTROLS. IN THE "HAND" POSITION, FAN SHALL RUN. IN THE "OFF" POSITION, FAN SHALL REMAIN OFF. IN THE AUTO POSITION FAN SHALL BE CONTROLLED BY ANY ONE OF THE FOLLOWING SENSORS, WIRED IN PARALLEL. A CARBON MONOXIDE SENSOR SHALL START FAN F-2 WHENEVER THE LEVEL OF CARBON MONOXIDE IN THE SPACE IS ABOVE SETPOINT. A CARBON DIOXIDE SENSOR SHALL START FAN F-2 WHENEVER THE LEVEL OF CARBON DIOXIDE IN THE SPACE IS ABOVE SETPOINT. A PHOTO-ELECTRIC SENSOR, MOUNTED AT 7'-6" AFF, WITH THE BEAM SOURCE AT ONE END OF THE BAY AND THE RECEIVER AT THE OPPOSITE END OF THE BAY, SHALL START FAN F-2 WHENEVER ANY TRUCK BREAKS THE BEAM WHILE LEAVING OR ENTERING ANY ONE OF THE FIVE BAYS. ONCE FAN F-2 IS STARTED BY ANY ONE OF THESE THREE SENSORS, IT SHALL RUN FOR 15 MINUTES (ADJUSTABLE), THEN STOP. WHENEVER FAN F-2 IS RUNNING, THE MOTORIZED DAMPER AT THE INTAKE LOUVER SHALL BE OPEN.

(3) CONTROLS FOR FAN F-3 SHALL CONSIST OF A WALL MOUNTED "ON-OFF" MAGNETIC STARTER, MOUNTED ON WALL ABOVE DOOR CONTROLS. IN THE "ON" POSITION, FAN SHALL RUN. IN THE "OFF" POSITION, FAN SHALL REMAIN OFF. WHENEVER FAN F-3 IS RUNNING, THE MOTORIZED DAMPER AT THE INTAKE LOUVER SHALL BE OPEN.

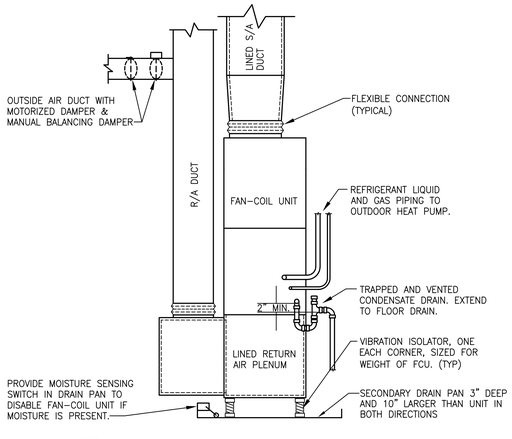
(4) PROVIDE FAN WITH BELT-DRIVEN FAN WHEEL, FAN HOUSING, WALL SLEEVE, OSHA INLET GUARD, DISCONNECT SWITCH AND GRAVITY BACKDRAFT DAMPER.

AIR DISTRIBUTION DEVICES

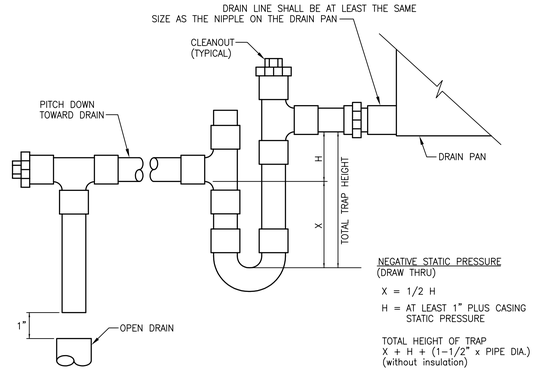
MARK	TYPE	NECK SIZE	OBD	FINISH	MODEL	REMARKS
A	SURFACE MOUNT CEILING DIFFUSER	6"ø	YES	OFF-WHITE	PRICE SCD, FRAME 31, 12X12 SURFACE MOUNT	VCR7 DAMPER
B	LAY-IN CEILING DIFFUSER	6"ø	YES	OFF-WHITE	PRICE SCD, FRAME 31, 24X24 LAY-IN	VCR7 DAMPER
C	LAY-IN CEILING DIFFUSER	8"ø	YES	OFF-WHITE	PRICE SCD, FRAME 31, 24X24 LAY-IN	VCR7 DAMPER
D	LAY-IN RETURN AIR GRILLE	8"ø	NO	OFF-WHITE	PRICE 80-TB, 24X24 LAY-IN	
E	CEILING RETURN AIR GRILLE	8"ø	NO	OFF-WHITE	PRICE 80-F-A, SIZE 12X12	

HVAC LEGEND

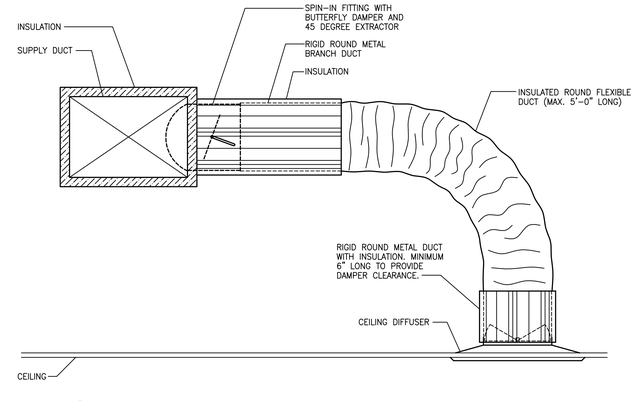
- SLOT DIFFUSER
- SUPPLY DIFFUSER
- RETURN OR EXHAUST GRILLE
- AxB — DUCT DIMENSION: A – HORIZONTAL, B – VERTICAL
- R — DUCT RISE
- D — DUCT DROP
- DUCT WITH ACOUSTICAL LINER
- DUCT TURN DOWN
- DUCT TURN UP
- FLEXIBLE DUCT CONNECTION
- FLEXIBLE DUCTWORK
- SPIN-IN FITTING
- FIRE DAMPER
- D — CONDENSATE DRAIN LINE
- 90° ELBOW WITH TURNING VANES
- OPPOSED BLADE DAMPER (PLAN)
- OPPOSED BLADE DAMPER (SECTION)
- FABRIC DUCT/DIFFUSER
- SD — SMOKE DETECTOR
- N — NIGHT SETBACK THERMOSTAT
- COMBINATION STARTER/DISCONNECT
- THERMOSTAT
- $ — FAN SWITCH
- X / Y — EQUIPMENT DISIGNATION: X – EQUIPMENT, Y – EQUIPMENT NUMBER
- X / CFM — AIR DISTRIBUTION DEVICE: X – LETTER DEVICE, CFM – AIR QUANTITY IN FT^3/MIN.



1 / M101 **DETAIL - FAN-COIL UNIT**
NOT TO SCALE



2 / M101 **CONDENSATE DRAIN TRAP DETAIL**
NOT TO SCALE



3 / M101 **CEILING DIFFUSER RUNOUT DETAIL**
NOT TO SCALE

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PROJECT INFORMATION
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City of Jasper
Project Name
Fire Station Addition
Project Address
277 Burton Street - Jasper, Georgia 30143

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vv	Date	Description

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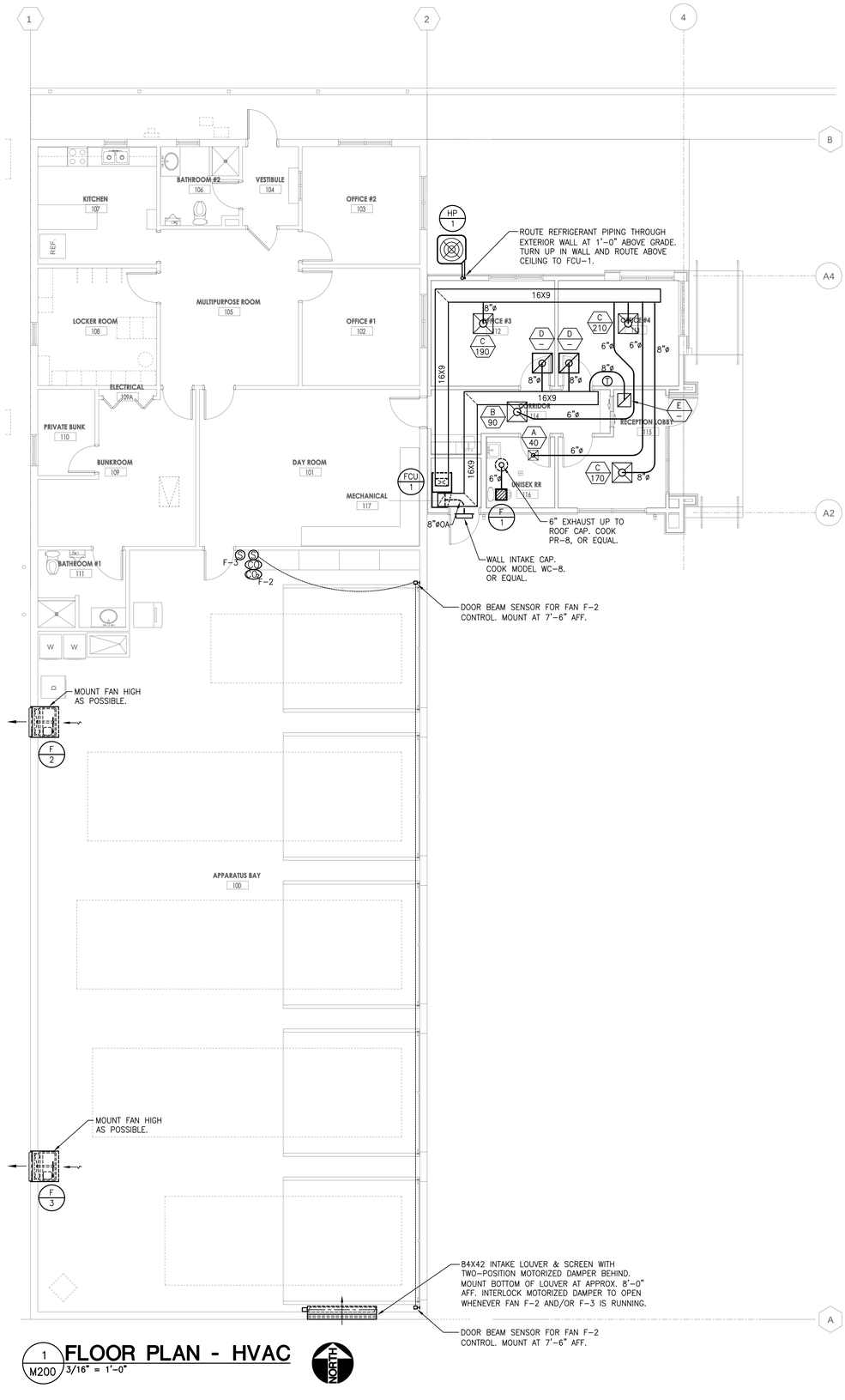
HVAC DETAILS AND SCHEDULES
Drawing Number
M101



1 / M200 **FLOOR PLAN - HVAC**

3/16" = 1'-0"

NORTH

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THE FIRST MOUNTAIN CITY JASPER GEORGIA 1857

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Drawing Title
FLOOR PLAN - HVAC

Drawing Number
M200

PLUMBING SPECIFICATIONS

SCOPE:

THE WORK UNDER THIS SECTION SHALL BE TO PROVIDE A COMPLETE PLUMBING SYSTEM. ALL ITEMS OF WORK, OF COST AND EXPENSE OF ANY NATURE WHATSOEVER BELONGING WITH OR NECESSARY TO THE COMPLETION OF WORK CALLED FOR IN THIS SPECIFICATION OR IN THE CONTRACT DOCUMENTS ARE HEREBY SPECIFIED TO BE INCLUDED IN THIS CONTRACT.

ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE INTERNATIONAL PLUMBING CODE, INTERNATIONAL ENERGY CODE, AND ANY APPLICABLE LOCAL CODES AND ORDINANCES.

WARRANTY:

EQUIPMENT FURNISHED SHALL BE GUARANTEED FOR A MINIMUM PERIOD OF ONE (1) YEAR FROM DATE OF ACCEPTANCE.

SUBMITTALS:

ALL MATERIALS AND EQUIPMENT WHICH THE CONTRACTOR PROPOSES TO FURNISH SHALL BE SUBMITTED FOR REVIEW. DATA SHALL BE COMPLETE IN ALL RESPECTS AND SHALL REFERENCE, WHERE APPLICABLE, TO THE UNIT SYMBOL UTILIZED ON THE DRAWINGS AND SPECIFICATIONS.

PIPING:

ALL SANITARY WASTE AND VENT PIPING SHALL BE SCHEDULE 40 DWV PVC WITH PVC DRAINAGE TYPE FITTINGS.

PUMP DISCHARGE PIPING SHALL BE SCHEDULE 40 PVC PRESSURE PIPE WITH SOLVENT WELD FITTINGS.

DOMESTIC WATER PIPING SHALL BE TYPE M COPPER TUBING WITH WROUGHT COPPER SWEAT FITTINGS AND LEAD–FREE SOLDER JOINTS.

VALVES:

VALVES FOR DOMESTIC WATER SYSTEM: VALVES SHALL BE QUARTER–TURN FULL PORT BALL VALVES.

CLEANOUTS:

PROVIDE CLEANOUTS IN SOIL AND WASTE LINES AS SHOWN, AS REQUIRED BY THE GOVERNING CODE, AT THE BOTTOM OF EACH EXPOSED FIXTURE TRAP WHICH IS NOT INTEGRAL WITH THE FIXTURE, AT THE END OF EACH BRANCH DRAINAGE LINE, AT EACH CHANGE OF HORIZONTAL DIRECTION GREATER THAN 45 DEGREES, AT THE FOOT OF EACH SOIL AND RAINWATER STACK, AND IN HORIZONTAL DRAIN LINES AT INTERVALS OF NOT MORE THAN 80'.

FLOOR DRAINS:

FLOOR DRAINS SHALL BE EQUAL TO JOSAM MODEL 30000–S–2. EACH FLOOR DRAIN SHALL HAVE A TRAP PRIMER.

TRAPS:

PROVIDE TRAPS FOR ALL FIXTURES AND FLOOR DRAINS, EXCEPT AS NOTED OTHERWISE. SET TRAPS TRUE AND LEVEL. PROVIDE EXPOSED TRAPS WITH BRASS CLEANING SCREWS.

INSULATION:

PIPE INSULATION SHALL BE ONE–PIECE FIBROUS GLASS SECTIONAL PIPE INSULATION WITH FACTORY APPLIED GLASS REINFORCED ALUMINUM FOIL AND WHITE KRAFT PAPER FLAME RETARDANT VAPOR BARRIER JACKET. LONGITUDINAL JACKET LAPS AND BUTT STRIPS SHALL BE SELF–SEALING. INSULATE ALL NEW DOMESTIC WATER PIPING WITH MINIMUM 1" THICK INSULATION.

PLUMBING FIXTURES:

ALL FIXTURES SHALL BE COMMERCIAL GRADE VITREOUS CHINA, ENAMELED CAST IRON, OR STAINLESS STEEL, AS INDICATED. FOR EACH FIXTURE, PROVIDE CHROME PLATED BRASS STOP VALVES ON BOTH COLD AND HOT WATER SUPPLIES, WITH STAINLESS STEEL BRAIDED RUBBER SUPPLY HOSES FROM THE STOP VALVES TO THE FIXTURES. EACH SINK AND LAVATORY SHALL ALSO BE PROVIDED WITH A 17 GAUGE, CHROME–PLATED BRASS P–TRAP, WITH CLEANOUT PLUG. ALL FAUCETS SHALL BE CHROME PLATED BRASS CONSTRUCTION.

FIXTURES SHALL BE AS FOLLOWS:

F1 – WATER CLOSET (ACCESSIBLE): FLOOR MOUNTED, TANK TYPE, ELONGATED WHITE VITREOUS CHINA, 16.5" HIGH RIM, 1.28 GPF PRESSURE ASSISTED FLUSH, OPEN FRONT SEAT, ADA COMPLIANT.

F2 – LAVATORY (ACCESSIBLE): WHITE VITREOUS CHINA, WALL HUNG ON CONCEALED ARM CARRIER, WITH BACKSPLASH, ADA COMPLIANT. FAUCET SHALL BE CHROME PLATED BRASS, SINGLE LEVER TYPE, WITH STANDARD SPOUT, 0.5 GPM AERATOR AND GRID DRAIN.

F3 – BAR SINK: MINIMUM 18 GAUGE STAINLESS STEEL, SELF–RIMMING TYPE, WITH SINGLE 12"X12"X6.5" DEEP BASIN. FAUCET SHALL BE BLADE HANDLE TYPE WITH GOOSENECK SPOUT.

WATER HEATER:

WATER HEATER SHALL BE ELECTRIC, STORAGE TYPE, ENERGY EFFICIENT, COMPLYING WITH ASHRAE STANDARD 90.1, WITH MANUAL DRAIN VALVE AND ASME P&T RELIEF VALVE. HEATER SHALL BE PIPED AS SHOWN IN DETAIL 3/P100. CAPACITIES SHALL BE AS SCHEDULED ON THE DRAWINGS. HEATER SHALL BE A.O. SMITH, AS SCHEDULED, OR EQUAL.

PLUMBING FIXTURE SCHEDULE

MARK	FIXTURE	NOTES	RIM HEIGHT	COLD WATER		HOT WATER		SOIL/WASTE	
				BRANCH	CONN.	BRANCH	CONN.	BRANCH	CONN.
F1	WATER CLOSET (ACCESSIBLE)	1, 2, 3, 4	16.5"	1/2"	1/2"	–	–	4"	4"
F2	LAVATORY (ACCESSIBLE)	1, 5, 6	34"	1/2"	1/2"	1/2"	1/2"	2"	1–1/4"
F3	BAR SINK	7, 8	34"	1/2"	1/2"	1/2"	1/2"	2"	1–1/2"

1. HANDICAP ACCESSIBLE FIXTURE
2. 1.28 GPF TANK TYPE
3. PRESSURE ASSISTED FLUSH
4. FLOOR MOUNTED
5. WALL MOUNTED FIXTURE ON CONCEALED ARM CARRIER
6. SINGLE LEVER FAUCET WITH STANDARD SPOUT, 0.5 GPM AERATOR
7. COUNTERTOP FIXTURE
8. BLADE HANDLE FAUCET WITH GOOSENECK SPOUT

WATER HEATER SCHEDULE

SYMBOL	HEATER SERVICE	HEATER TYPE	HEAT INPUT	STORAGE CAPACITY	RECOVERY RATE (GPH @ 70°F RISE)	FIRST HOUR DELIVERY	DISCHARGE TEMP (°F)	MANUFACTURER & MODEL	REMARKS
WH–1	DOMESTIC HOT WATER	ELECTRIC STORAGE	3.0 KW	10 GAL	17.5	22.5	110	A. O. SMITH DEL–10–3.0	

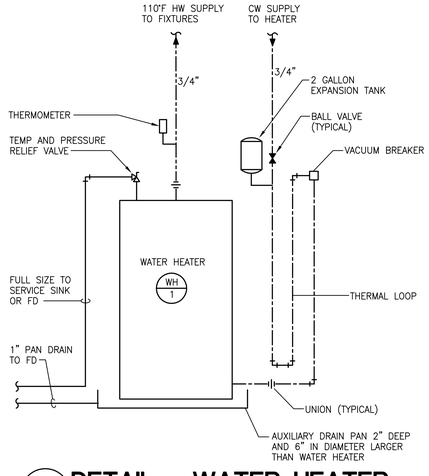
PUMPS

SYMBOL	SERVICE	TYPE	GPM	HEAD FT. H_2O	RPM	MAX. H.P.	ELECTRICAL VOLTS/PH	MODEL	REMARKS
P–1	SEWAGE LIFT PUMP	GRINDER	13	20	3450	1/2	120/1	ZOELLER 915	SEE FOOTNOTE 1

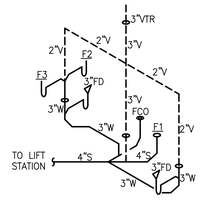
FOOTNOTE 1: PACKAGE SYSTEM INCLUDING SUBMERSIBLE GRINDER PUMP, 18"DIAMETER X 30" DEEP MOLDED FIBERGLASS BASIN WITH 4" SIDE INLET, STEEL COVER WITH VENT AND DISCHARGE PIPE CONNECTIONS, AND LEVEL CONTROLLER WITH HIGH LEVEL ALARM. SET TOP OF BASIN FLUSH WITH FINISHED FLOOR.

PLUMBING LEGEND

SYMBOL	ABBREVIATION	DESCRIPTION
	S,W	SOIL OR WASTE PIPE
	V	VENT PIPE
	CW	COLD WATER PIPE
	HW	HOT WATER PIPE
	HWC	HOT WATER CIRC. PIPE
	FS	FLOOR SINK
	FD	FLOOR DRAIN
	FCO	FLOOR CLEANOUT
	COTG	CLEANOUT TO GRADE
	GV	GATE VALVE
	CKV	CHECK VALVE
	STR	STRAINER
	U	UNION
	–	CONNECT TO EXISTING
	AFF	ABOVE FINISHED FLOOR
	A/C	ABOVE CEILING
	(BF)	BARRIER FREE
	B/F	BELOW FLOOR
	B/G	BELOW GRADE
	F	PLUMBING FIXTURE
	VTR	VENT THRU ROOF



1/P100 DETAIL - WATER HEATER
NOT TO SCALE



2/P100 SANITARY PIPING RISER DIAGRAM
NOT TO SCALE

CPL | Architecture Engineering Planning
615 Molly Lane Suite 100,
Woodstock, GA 30189
CPLteam.com

PROJECT INFORMATION

Project Number
16526.00

Client Name
City of Jasper

Project Name
Fire Station Addition

Project Address
277 Burton Street - Jasper, Georgia 30143

PROJECT ISSUE & REVISION SCHEDULE

vv	Date	Description

PROFESSIONAL STAMPS

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GEORGIA REGISTERED No. 9996 PROFESSIONAL ENGINEER MARTIN S. GEORGE

SHEET INFORMATION

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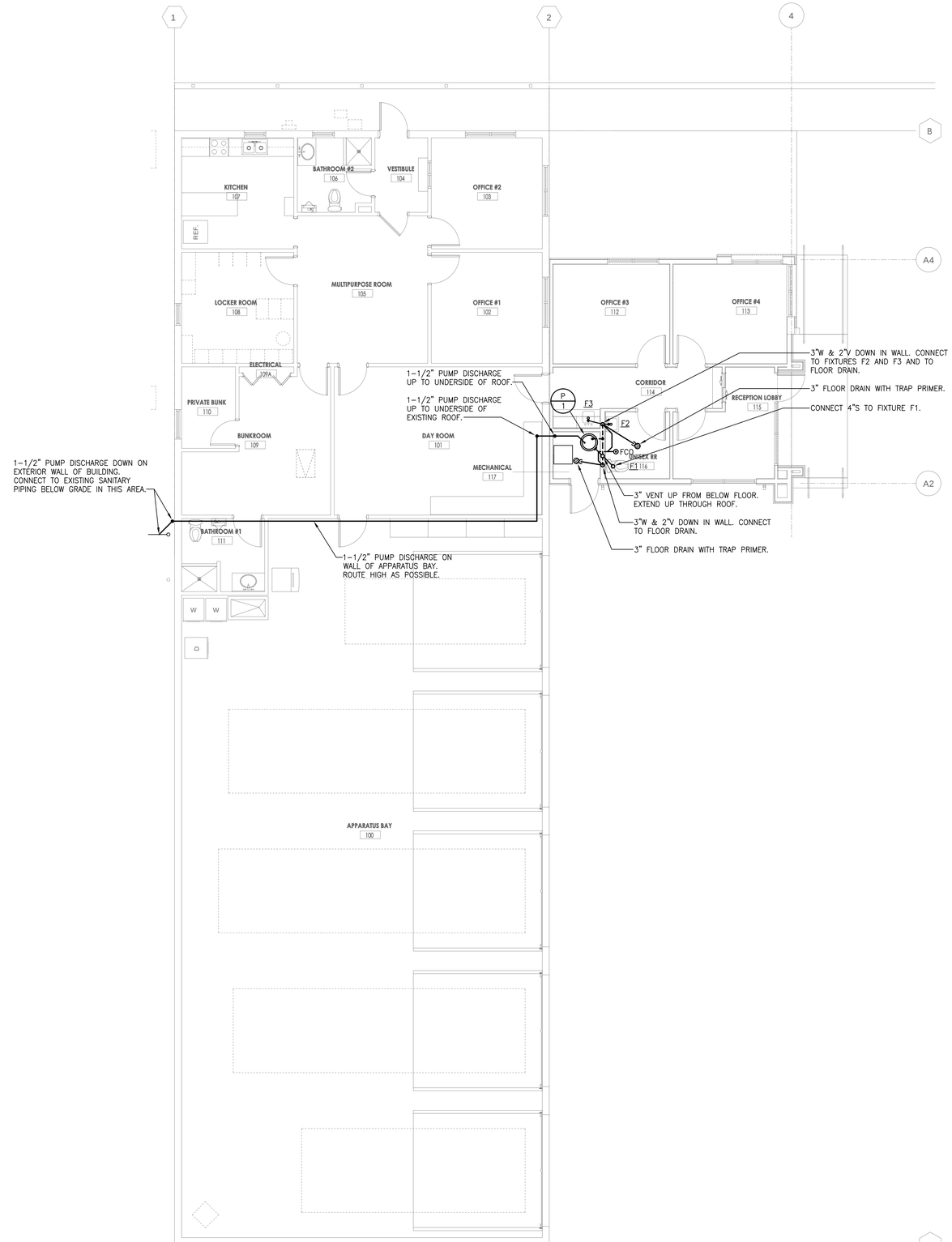
Project Status
ISSUE FOR CONSTRUCTION

Drawn By	Checked By
MSG	CPL

Drawing Title
PLUMBING DETAILS, SCHEDULES AND SPECIFICATIONS

Drawing Number
P100



1 / P200 **FLOOR PLAN - SANITARY PIPING**

3/16" = 1'-0"

NORTH

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THE FIRST MOUNTAIN CITY
JASPER GEORGIA
1857

PROJECT INFORMATION

Project Number
16526.00

Client Name
City of Jasper

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Fire Station Addition

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277 Burton Street - Jasper, Georgia 30143

PROJECT ISSUE & REVISION SCHEDULE

nr	Date	Description

PROFESSIONAL STAMPS

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GEORGIA REGISTERED No. 9926 PROFESSIONAL ENGINEER MARTIN S. GEORGE

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Project Status
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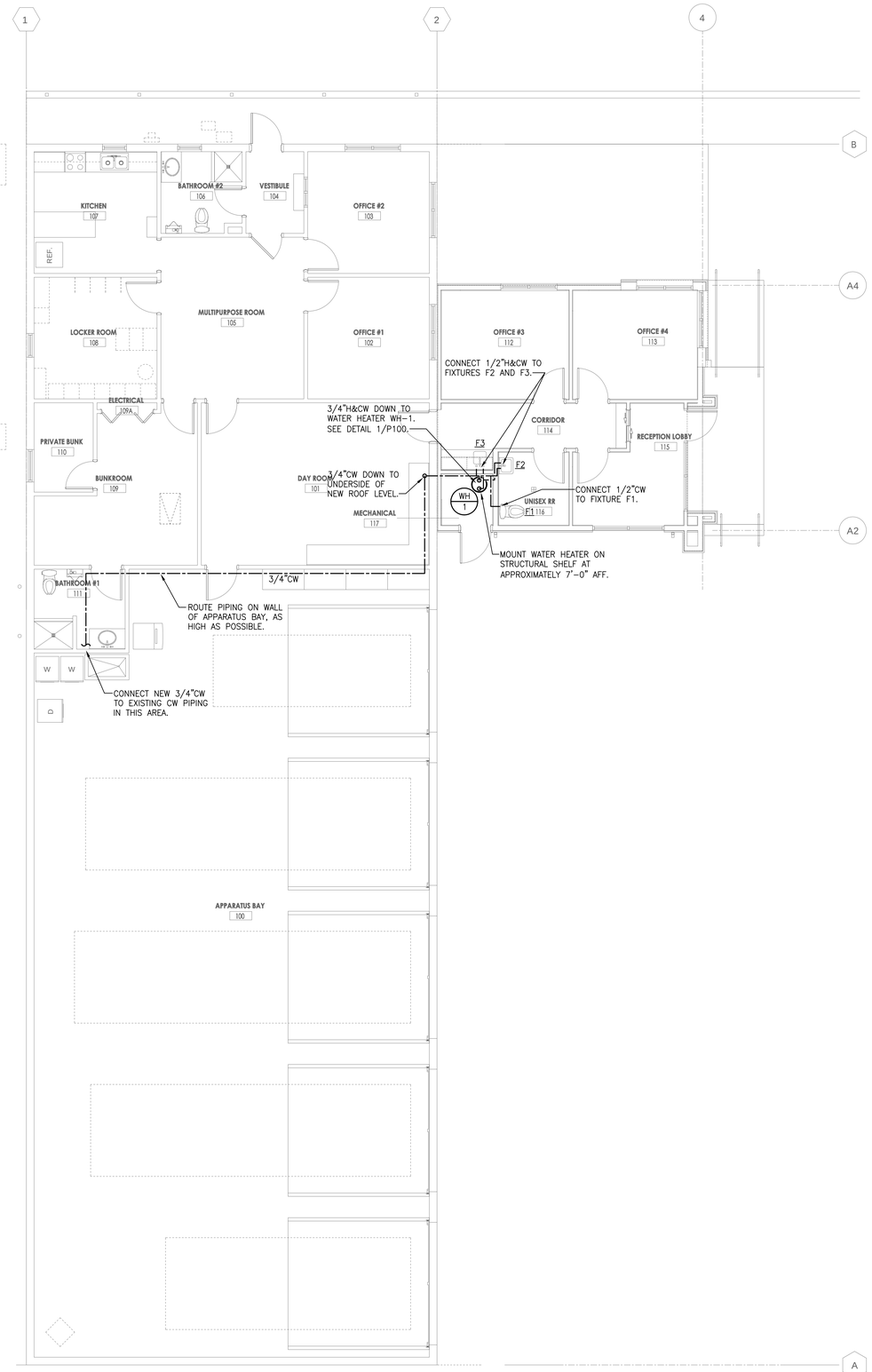
Drawn By	Checked By
MSG	CPL

Drawing Title
FLOOR PLAN - SANITARY PIPING

Drawing Number
P200



1 / P201 **FLOOR PLAN - WATER PIPING**

3/16" = 1'-0"

NORTH

CPL | Architecture Engineering Planning
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Woodstock, GA 30189
CPLteam.com

THE FIRST MOUNTAIN CITY JASPER GEORGIA 1857

PROJECT INFORMATION

Project Number
16526.00

Client Name
City of Jasper

Project Name
Fire Station Addition

Project Address
277 Burton Street - Jasper, Georgia 30143

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Nr	Date	Description

PROFESSIONAL STAMPS

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GEORGIA REGISTERED No. 9995 PROFESSIONAL ENGINEER MARTIN S. GEORGE

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Scale
As indicated

Project Status
ISSUE FOR CONSTRUCTION

Drawn By
MSG

Checked By
CPL

Drawing Title
FLOOR PLAN - WATER PIPING

Drawing Number
P201

SYMBOL LEGEND

MOUNTING HEIGHT IS FROM FINISHED FLOOR TO CENTERLINE OF DEVICE OR OUTLET.
HEIGHT MAY VARY TO COINCIDE WITH BUILDING CONSTRUCTION

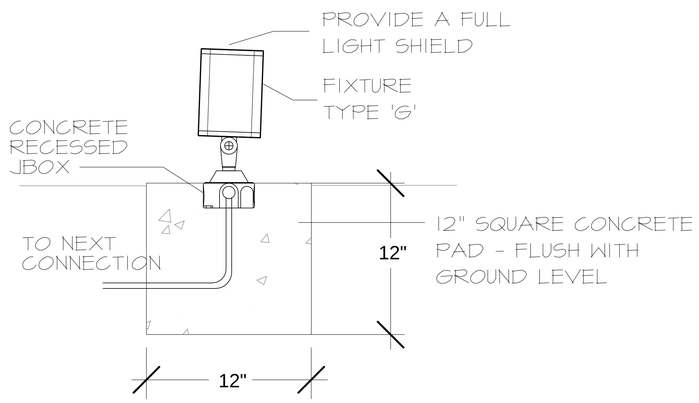
SYMBOL	DESCRIPTION	MOUNTING HEIGHT
AFF	ABOVE FINISHED FLOOR	
WP	WEATHER PROOF	
	CROSS HATCHING REPRESENTS GROUND, NEUTRAL AND HOT RESPECTIVELY, ARROW REPRESENTS HOME RUN	
	CONDUIT CONCEALED IN WALL OR ABOVE CEILING	
	RECESSED LED LIGHTING FIXTURE - SEE SCHEDULE	
	2' X 4' LED INDIRECT LIGHTING FIXTURE - SEE SCHEDULE	
	1' X 4' LED SURFACE MOUNTED LIGHTING FIXTURE	
	TWIN HEAD EMERGENCY EGRESS BATTERY LIGHT	
	EXIT SIGN - DARKENED SECTION(S) OF SYMBOLS INDICATE FACES. ARROWS INDICATE DIRECTIONAL CHEVRONS	
	FLAG POLE DIRECTIONAL UP LIGHT	
	DUPLEX RECEPTACLE OUTLET	18" A.F.F.
	GROUND FAULT CURRENT INTERRUPTER TYPE DUPLEX RECEPTACLE OR GROUND FAULT CURRENT INTERRUPTER PROTECTED	48" A.F.F.
J	JUNCTION BOX WITH COVERPLATE - CEILING MOUNTED AND WALL MOUNTED	
	PANELBOARD 208Y/120 VOLTS	
	DISCONNECT SWITCH - 30/3/30 SWITCH SIZE/ POLES/ FUSE SIZES	
M	MOTOR - NUMERAL INDICATES HORSEPOWER	
S_{oc}	MOTION AND INFARED OPERATED LIGHTING SWITCH, PROVIDE MASKING, WHERE REQUIRED, TO PREVENT NUISANCE ACTIVATION. STAND ALONE OR SERIES UNIT AS INDICATED BY CONNECTION.	48" A.F.F.
S	S.P.S.T. LIGHTING SWITCH	CEILING
S_3	THREE-WAY LIGHTING SWITCH	

LIGHTING FIXTURE SCHEDULE

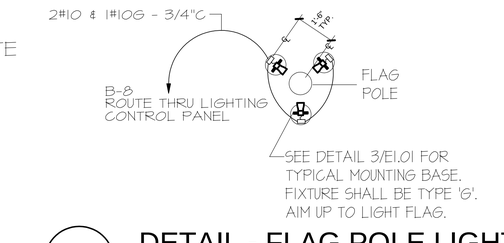
MARK	DESCRIPTION	MOUNTING	VOLT	LAMPS		DRIVER		WATTS	MANUFACTURER
				TYPE	NO.	TYPE	NO.		
A	TWO FOOT BY FOUR FOOT, LED TROFFER,WITH PERFORATED CENTER BASKET LAY-IN	RECESSED	120	LED - 3500K	-	ELECTRONIC	-	32.0	METALUX 24CZ-LD4-24-UNV-L835-CD1-U
B	ONE FOOT BY FOUR FOOT LED SURFACE MOUNTED VAPOR TIGHT WITH HIGH IMPACT ACRYLIC WRAP AROUND LENS.	SURFACE	120	LED - 3500K	-	ELECTRONIC	-	70.0	4VT3-LD5-8-W-UNV-L835
C	SIX INCH LED DOWNLIGHT WITH CLEAR ALZAK REFLECTOR, REFLECTOR TRIM EDGE, DIMMABLE LED LAMPS. MEDIUM DISTRIBUTION REFLECTOR.	RECESSED	120	LED - 3500K	-	ELECTRONIC	-	32.0	PORTFOLIO LD6B 20 D010TR/ EU6B 1020 90 35/6LBM 2 H
D	NOT USED AS A LIGHTING FIXTURE DESIGNATION.								
E	TWIN HEAD EMERGENCY BATTERY FIXTURE WITH WHITE HOUSING, 6 VOLT NI-CAD BATTERY, AND LED LAMPS.	WALL AT 7'-6"AFF OR AS NOTED	120	FURNISHED	2	N/A	-	11.0	SURELITE LEM
F	VAPOR TIGHT INDUSTRIAL LED LIGHT FIXTURE.	SURFACE OR ABOVE DOOR	120	LED - 3500K	-	ELECTRONIC	-	8.0	SPECTRUM WJ1GV 15L 35K EX FJ1 CP104 MW
G	EXTERIOR LED ACCENT LIGHT FOR FLAG POLE UPLIGHTS. FINAL ADJUSTMENT SHALL BE AT NIGHT WITH THE ARCHITECT/ENGINEER .	GROUND MOUNTED SEE DETAILS 3&4/E1.01	120	LED - 4000K	-	ELECTRONIC	-	10	ECOSENSE F080 1S HO 35 9 E3 K F A
X	LED EXIT, RED LETTERS WITH DIE-CAST ALUMINUM BODY, SINGLE/DOUBLE FACE AND ARROWS AS INDICATED.	SURFACE OR ABOVE DOOR	120	FURNISHED	-	N/A	-	5.0	SURE-LITES CX7 * WH

LIGHTING FIXTURE SCHEDULE NOTES:

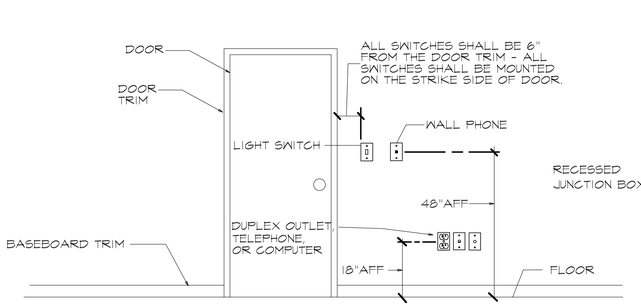
1. ALTERNATE SUPPLIERS OF SPECIFIED EQUIPMENT WILL BE ACCEPTABLE ONLY BY FORMAL SUBMITTAL 10 DAYS PRIOR TO BID.
2. ALL FIXTURES IN SUSPENDED CEILING SYSTEMS SHALL HAVE APPROVED SIESMIC CLIPS.



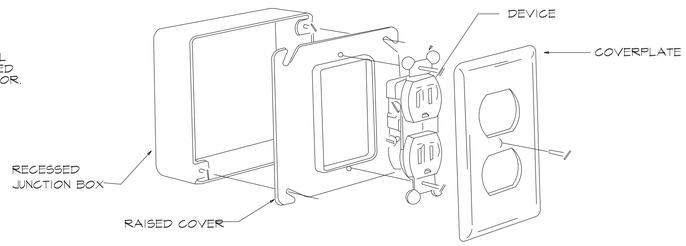
3 PART PLAN - FLAG POLE LIGHTING
NOT TO SCALE



4 DETAIL - FLAG POLE LIGHTING
NOT TO SCALE

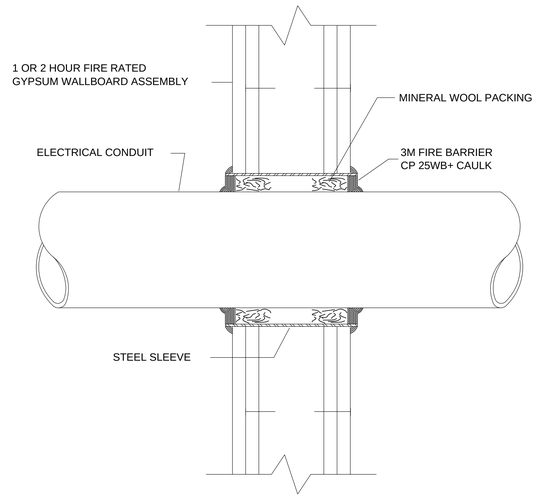


ELEVATION



TYPICAL ASSEMBLY IN GYPSUM BOARD OR WOOD PANELING

1 ELEVATION - WALL MOUNTED DEVICES
NOT TO SCALE



CONSULT CURRENT UNDERWRITERS LABORATORIES, INC.
"FIRE RESISTANCE DIRECTORY" FOR DETAILS.

UL SYSTEM WL1003

2 DETAIL - FIRE WALL/FLOOR CONDUIT RATING
NOT TO SCALE

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Woodstock, GA 30189
CPLteam.com

PROJECT INFORMATION
Project Number
16526.00
Client Name
City of Jasper
Project Name
Fire Station Addition
Project Address
277 Burton Street - Jasper, Georgia 30143

PROJECT ISSUE & REVISION SCHEDULE

#	Date	Description

PROFESSIONAL STAMPS

GEORGIA REGISTERED PROFESSIONAL ENGINEER 6-27-22 SCOTT W. LINDELOW

SHEET INFORMATION

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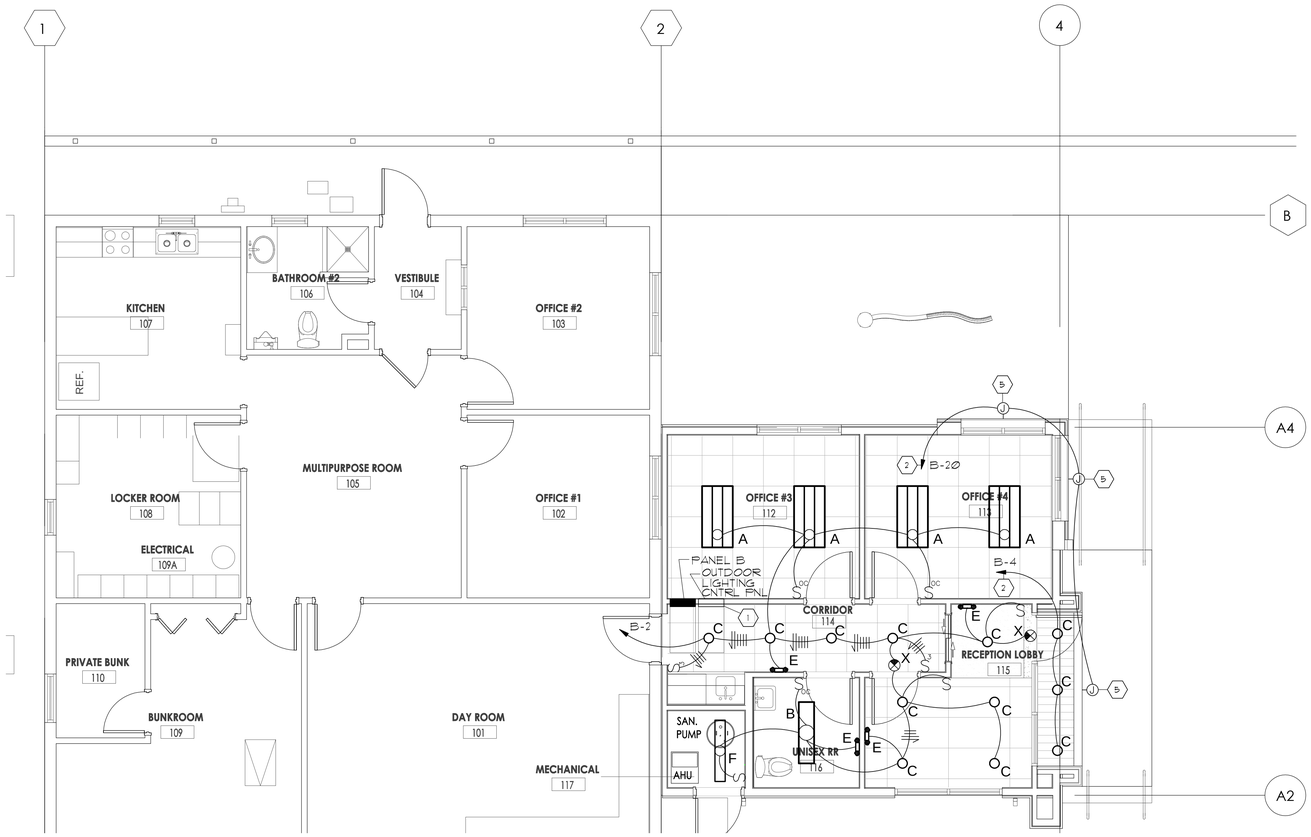
07/01/22	As indicated

Project Status
ISSUED FOR CONSTRUCTION

Drawn By	Checked By
JBL	SWL

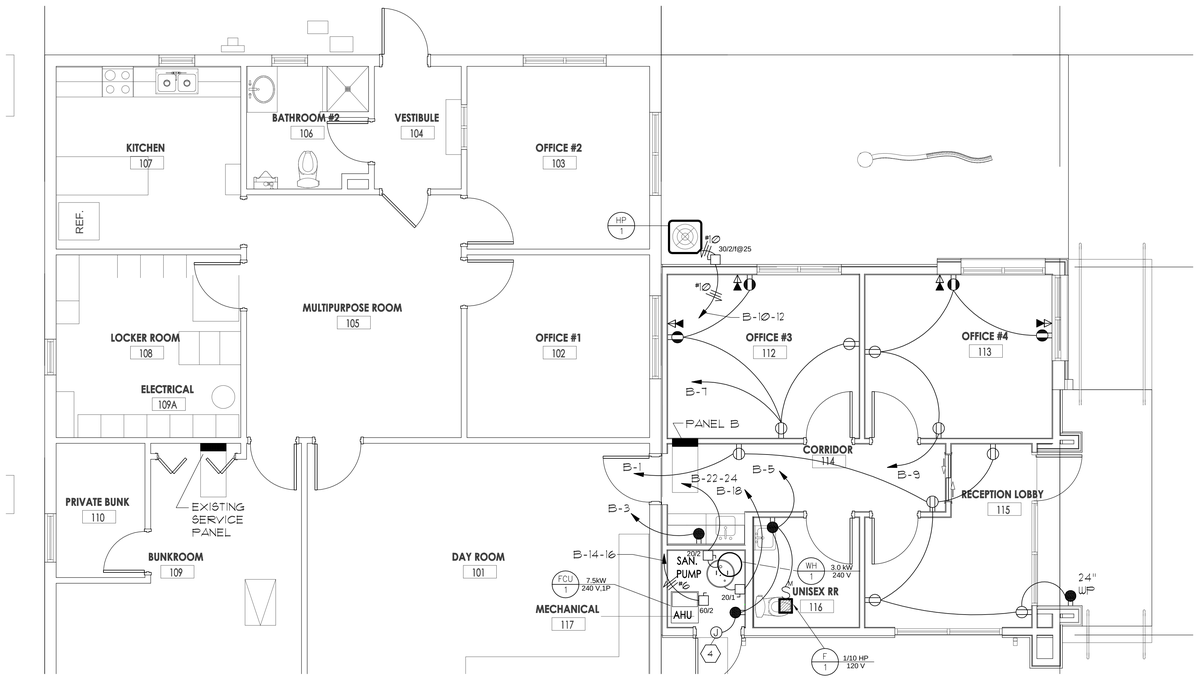
Drawing Title
ELECTRICAL INSTALLATION DETAILS, SYMBOL LIST, and LIGHTING FIXTURE SCHEDULE
Drawing Number
E101

SAVANT Engineering, LLC
5064 Roswell Road, Suite D-301
Sandy Springs GA 30342 770.319.7400
Project 22924



1 FLOOR PLAN - ADDITION - LIGHTING

SCALE: 1/4" = 1'-0"



2 FLOOR PLAN - ADDITION - POWER

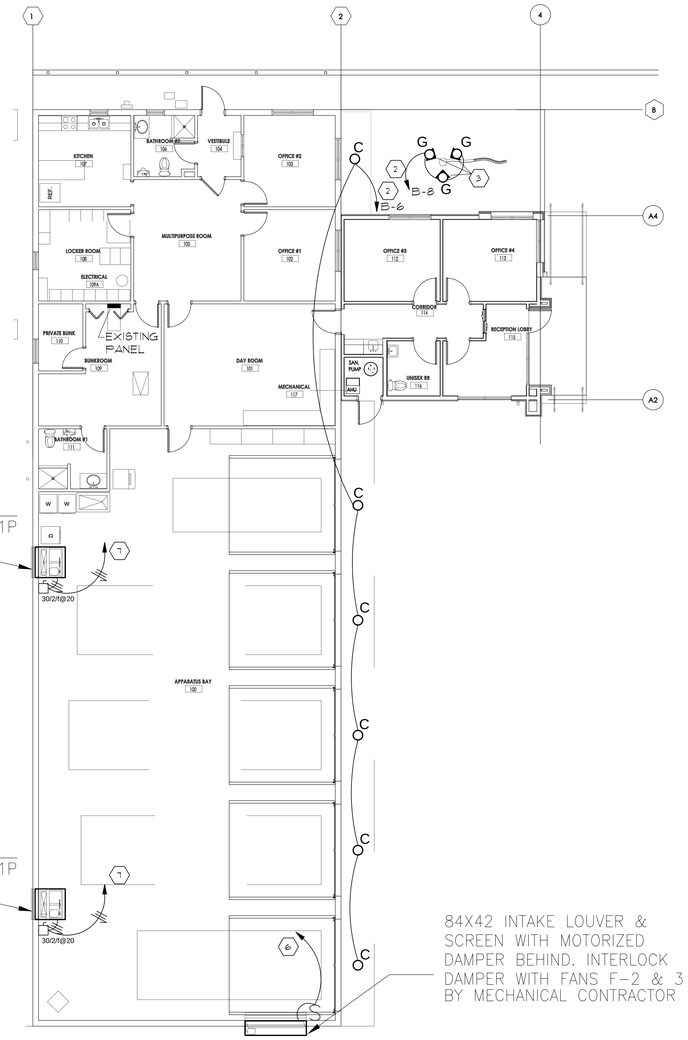
SCALE: 1/4" = 1'-0"

GENERAL NOTES:

1. PROVIDE IN EACH CONDUIT, NOT OTHERWISE NOTED, TWO #12 AND ONE #12 GROUND., THIS INCLUDES ALL SWITCH LEGS, LIGHTING AND RECEPTACLE CONDUITS.
2. A DEDICATED NEUTRAL SHALL BE RUN WITH EACH CIRCUIT WITH A COLOR STRIPE MATCHING THE RESPECTIVE UNGROUNDED CONDUCTOR COLOR. DO NOT COMBINE HOMERUNS. DO NOT USE A WIRE TROUGH ABOVE OR BELOW ANY PANELBOARDS FOR GATHERING AND INSTALLING HOMERUNS..
3. "MATERIALS EXPOSED WITHIN PLENUMS ARE REQUIRED TO BE NONCOMBUSTIBLE OR SHALL HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND A SMOKE-DEVELOPED INDEX OF NOT MORE THAN 50 AS DETERMINED IN ACCORDANCE WITH ASTM E 84 EXCEPT FOR TESTED AND LABELED WIRING, FIRE SPRINKLER PIPING, PNEUMATIC TUBING, AND ELECTRICAL EQUIPMENT." CODE REFERENCE - 2012 IMC SECTION 602.2.1
4. AS REQUIRED BY CURRENT NATIONAL ELECTRICAL CODE, PROVIDE IN EACH CONDUIT RUN TO A LIGHT SWITCH A NEUTRAL CONDUCTOR ALONG WITH THE PHASE CONDUCTORS, ALL SWITCH LEGS, AND GROUNDING CONDUCTOR.

LEGEND NOTES:

1. OUTDOOR LIGHTING CONTROL PANEL - GREENGATE LITEKEEPER #LK8-0575-000023-01 MOUNT FLUSH IN THE WALL.
2. EXTEND THROUGHT THE OUTDOOR LIGHTING CONTROL PANEL AND CONNECT THROUGH ONE OF THE CONTROL CONTACTS.
3. SEE DETAILS 3 & 4 SHEET E101 FOR MOUNTING AND SPACING.
4. PROVIDE FOR POWER TO THE OUTSIDE AIR MOTORIZED DAMPERS.
5. MOUNT ON THE SIDE OF THE BUILDING AS INDICATED ON THE ARCHITECTURAL DRAWINGS FOR SIGNAGE. COORDINATE THE EXACT LOCATION WITH THE ARCHITECT PRIOR TO ROUGH-IN.
6. EXTEND TO THE EXISTING PANEL AND PROVIDE A 20A/1P BREAKER IN AN AVAILABLE SPACE AND CONNECT.
7. EXTEND TO THE EXISTING PANEL AND PROVIDE A 20A/2P BREAKER IN AN AVAILABLE SPACE AND CONNECT. TO MAKE SPACE IN THE PANEL INSTALL TANDUM 20/1 BREAKERS AND RECONNECT EXISTING CIRCUITS.



3 FLOOR PLAN - EXTERIOR LIGHTING & BAY EXHAUST

SCALE: 1/8" = 1'-0"

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THE FIRST MOUNTAIN CITY
JASPER GEORGIA
1857

PROJECT INFORMATION

Project Number
16526.00

Client Name
City of Jasper

Project Name
Fire Station Addition

Project Address
277 Burton Street - Jasper, Georgia 30143

PROJECT ISSUE & REVISION SCHEDULE

#	Date	Description

PROFESSIONAL STAMPS

GEORGIA REGISTERED PROFESSIONAL ENGINEER 17124 SCOTT W. LINDLEY

SHEET INFORMATION

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Project Status
ISSUED FOR CONSTRUCTION

Drawn By	Checked By
JBL	SWL

Drawing Title
FLOOR PLANS
LIGHTING &
POWER

Drawing Number
E201

SAVANT Engineering, LLC
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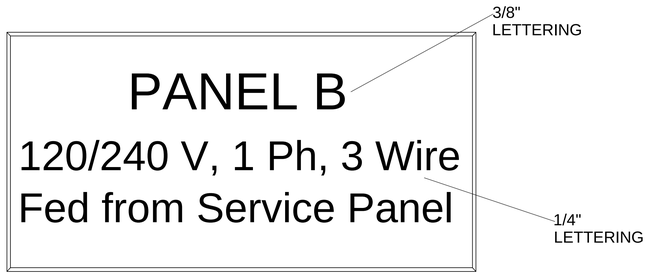
Sandy Springs GA 30342 770.319.7400
Project 22924



NOTES:

1. NAMEPLATE CONSTRUCTION SHALL BE LAMINATED PHENOLIC PLASTIC, BLACK FRONT AND BACK WITH WHITE LETTERING.
2. NAMEPLATES SHALL BE AT LEAST 2" HIGH AND 3" WIDE.

3 DETAIL - EQUIPMENT NAMEPLATE LAYOUT

NOT TO SCALE

PANELBOARD 'B' SCHEDULE

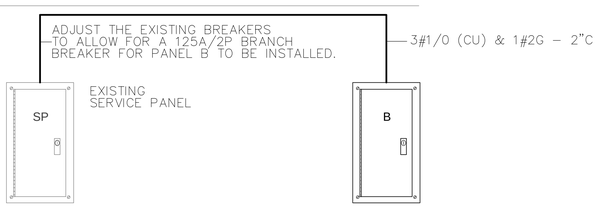
VOLTAGE: 120/240 V		MAINS: MAIN LUGS ONLY				MOUNTING: RECESSED			REMARKS: --------			
BUS SIZE: 125 A		TOTAL LOAD: 27.0 KVA				FAULT DUTY: 14,000 A1C			--------			
NO	SERVES	NOTE	LOAD (kVA)	BREAKER TRIP	BREAKER P	PHASE A	PHASE B	BREAKER P	BREAKER TRIP	LOAD (kVA)	NOTE	SERVES	NO
1	RECPTS CORR, LOBBY		1.2	20	1			1	20	1.0		LIGHTING INTERIOR	2
3	RECPTS COUNTER		1.2	20	1			1	20	0.6		LIGHTING EXTERIOR	4
5	RECPTS TOILET		1.2	20	1			1	20	0.8		LIGHTING EXTERIOR	6
7	RECPTS OFFICE 112		1.2	20	1			1	20	0.6		LIGHTING FLAG POLE	8
9	RECPTS OFFICE 113		1.2	20	1			2	30	4.5		MECH HEAT PUMP UNIT HP-1	10
11	SPARE		--	20	1								12
13	SPARE		--	20	1			2	100	7.5		MECH FAN COIL UNIT FC-1	14
15	SPARE		--	20	1								16
17	SPARE		--	20	1			1	20	1.5		SEWERAGE LIFT PUMP	18
19	SPARE		--	20	1			1	20	1.5		BUILDING SIGNAGE	20
21	SPARE		--	20	1			2	20	3.0		MECH WATER HEATER	22
23	SPARE		--	20	1								24
25	SPARE		--	20	1			1	20	--		SPARE	26
27	SPARE		--	20	1			1	20	--		SPARE	28
29	SPARE		--	20	1			1	--	--		SPACE ONLY	30
31	SPARE		--	20	1			1	--	--		SPACE ONLY	32
33	SPACE ONLY		--	--	1			1	--	--		SPACE ONLY	34
35	SPACE ONLY		--	--	1			1	--	--		SPACE ONLY	36
37	SPACE ONLY		--	--	1			1	--	--		SPACE ONLY	38
39	SPACE ONLY		--	--	1			1	--	--		SPACE ONLY	40

LOAD SUMMARY:

CURRENT
117.7 A.

NOTES:

CONNECTED			DEMAND		
LIGHTING	4.5	KVA	LIGHTING X 1.25	5.75	KVA
RECEPTACLE	6.0	KVA	RCPT 10+50%	6.0	KVA
MOTOR	1.5	KVA	MOTOR X 100%	1.5	KVA
A/C	4.5	KVA	A/C X 100%	4.5	KVA
HEATING	7.5	KVA	HEATING X 100%	7.5	KVA
WTR HEATING	3.0	KVA	WTR HEATING X 100%	3.0	KVA
TOTAL	27.0	KVA		28.25	KVA



LOAD CALCULATIONS:

PEAK DEMAND LOAD FOR THE LAST 12 MONTHS = 8.376 KVA x 125% = 10.47 KVA
NEW CALCULATED DEMAND LOAD = 28.25 KVA
NEW TOTAL LOAD = 38.72 KVA / 240V = 161.33 AMPS

CURRENT SERVICE SIZE IS 200 AMPERES • 240 V /1 P

1 ELECTRICAL RISER DIAGRAM

NOT TO SCALE

Riser Diagram General Notes:

1. EQUIPMENT SHOWN IN ILLUSTRATIVE FORM ONLY ACTUAL EQUIPMENT WILL DIFFER IN SIZE AND APPEARANCE.
2. REFER TO SPECIFICATIONS AND SCHEDULES FOR ADDITIONAL REQUIREMENTS.
3. SUBMIT SHOP DRAWINGS FOR ALL EQUIPMENT.
4. PROVIDE ENGRAVED LABELS ON ALL EQUIPMENT INTERIOR AND EXTERIOR.

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PROFESSIONAL STAMPS

GEORGIA REGISTERED PROFESSIONAL ENGINEER SCOTT W. LINDELOW

SHEET INFORMATION

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Project Status
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Drawn By	Checked By
JBL	SWL

Drawing Title
ELECTRICAL
RISER DIAGRAM &
PANEL SCHEDULE

Drawing Number
E301

SAVANT Engineering, LLC
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Project 22924

DIVISION 16000: ELECTRICAL SPECIFICATIONS

PART 1 - GENERAL

1.01 SCOPE:

A. Furnish and install a completely wired and operational electrical system as shown on the drawings and specified herein, including but not limited to these major items.
1. Lighting fixtures as indicated and specified on plans.
2. Electrical panels, controls, service, disconnects, conduit, wiring, etc., for all outlets and equipment.
3. Telephone/data outlets and conduit as indicated.
4. Conduit and outlets for alarm.
5. Control wiring for electrical systems.

1.02 CODES, REGULATIONS AND STANDARDS:

A. The installation shall comply with applicable local and state codes and ordinances, including the regulations of the following:
1. Americans with Disabilities Act
2. Current Applicable Building Code
3. National Electric Code
4. Local building codes and ordiances

B. The following industry standards, specifications are also minimum requirements:
1. The National Electrical Manufacturer's Association Standards (NEMA).
2. The Manufacturer's Recommendation.
3. Underwriter Laboratories Incorporated Standards (UL).
4. American National Standards Institute (ANSI).

1.03 PERMITS

A. Obtain and pay for all required permits and inspection fees.

1.04 INSPECTION OF SITE:

A. Prior to submitting a bid, visit the site of the proposed construction to become thoroughly acquainted with existing utilities, working conditions, etc. Allowance will not be made for non-compliance with this condition after bidding.

1.05 CLEAN-UP:

A. Keep the premises free from accumulation of waste material, or rubbish caused by employees or work under this Division of the specification. At the completion of the work, remove all surplus materials, tools, etc., and leave the premises "broom-clean". Remove all temporary wiring upon project completion.

1.06 DRAWINGS:

A. The drawings indicate the general arrangement and locations of the electrical work. Data presented on the these drawings are as accurate as planning can determine, but field verification of all dimensions, locations, levels, etc., to suit field conditions is required. Review all architectural, structural and mechanical drawings and adjust all work to meet the requirements of conditions shown. The architectural drawings shall take precedence over all other drawings. Discrepancies between different plans, or between drawings and specifications, or regulations and codes governing the installation shall be brought to the attention of the Architect in writing before the date of bid opening. If discrepancies are not reported, bid the greater quantity or better quality, and appropriate adjustments will be made after contract award. Field measure and confirm mounting heights and location of electrical equipment with respect to counters, mechanical equipment, etc. Do not scale distances off the electrical drawings; use actual building dimensions.

B. In all cases switches controlling lighting are to be located on the strike side of doors. Location indicated for switches and outlets are approximate. Owner may make minor relocations at no additional charge.

C. Should structural elements prevent running of conduits or cable, installation of outlets or panels as shown on the drawings, the required minor change, as determined by the Architect shall be permitted.

1.07 CUTTING AND FITTING:

A. Perform coring, cutting, chopping, fitting, repairing and finishing of the work necessary for the installation of the equipment of this Section. However, no cutting of the work of other trades or of anystructural member shall be done without the consent of the Architect and Landlord. Properly fill seal, fireproof and waterproof all openings, sleeves, and holes in slabs. Furnish and install all required sleeves and inserts.

1.08 COORDINATION WITH OTHER TRADES:

A. Cooperate with other trades so that installation of electrical outlets and equipment will be properly coordinated. Check conduit, fixture, and other equipment locations with the other trades to avoid conflict with the piping, ductwork, steel, piping, beams, or other obstructions.

B. Carefully check the locations of the outlet boxes and determine that they have not been disturbed during the installation of material of other trades.

PART 2 - PRODUCTS AND EXECUTION

2.01 MATERIALS:

A. All material shall be new and of quality as specified on the plans or specifications and must carry the Underwriter's Laboratories approval covering the purpose for which they are used, in addition to meeting all requirements of the current applicable codes and regulations. No substitution to materials specified will be allowed.

2.02 CONDUIT:

A. Use Electrical Metallic Tubing (EMT) for equipment branch circuit feeders and in indoor locations for all exposed work above 10'-0" and above lay-in ceilings. MC cable is allowed to be used in walls and above concealed ceilings. IMC shall be used for all exterior work, equipment branch circuit feeders and interior conduit exposed below 10'-0" AFF.

B. Where the conduit enters outlet boxes, fixtures or cabinets, firmly fasten by double locknuts and bushings. Firmly fasten conduit to the building construction. Run exposed conduits parallel to the building lines, supported by appropriate straps. Support conduits on 5 foot intervals and wthin 3 feet of any box or fitting.

C. Conduit connectors shall be double locknut type, UL listed and labelled, with set-screw or compression fittings.

D. Conduit sizes shall be as required by code and as indicated or specified herein. Minimum conduit size 1/2".

E. All empty conduit systems shall have 200 lb. test pull cord to facilitate installation of future wire.

F. Conceal conduits and outlets within the building structure.

2.03 OUTLET, PULL AND JUNCTION BOXES:

A. Each switch, light, receptacle or other outlets shall be provided with a code gauge, galvanized steel outlet box. All boxes shall be of the one piece, knockout type, shape and size to match the device being served.

B. Boxes installed for the telephone, television and data systems shall be provided with appropriate coverplates.

C. All surface mounted boxes shall be cast type FS with threaded hubs. No exceptions.

2.04 WIRING - CABLE & CONDUCTORS:

A. Unless otherwise specified, all wiring shall be in concealed conduit with copper conductors. The conductors shall be minimum # 12 AWG with an insulated green ground conductor in each run of conduit.

B. All wire installed in flexible cable (MC) or conduit shall be Type THHN or XHHW copper. The wires shall be color coded. Unless otherwise required by local ordinances, ground wires shall be green, neutral wires shall be white and phase wires shall be black (Phase A), red (Phase B), for a 120/240 volt single phase system. All conductors shall be #12 AWG, unless otherwise indicated.

C. All wire number 10 and smaller shall be solid and all conductors number 8 and larger shall be stranded. Conductors number 6 and larger may have a black insulating cover with colored tape to indicate the phase conection.

D. Do not install conductors until conduit system is complete. Use Mineralac #100 or equivalent as a lubricant to facilitate the installation of the conductors in the conduit system.

2.05 WIRING DEVICES:

A. Wall switches shall be specification grade AC silent type switches 20A, 125 volt. Single pole switches shall be Hubbell 1221-GRAY with stainless steel coverplates.

B. Receptacles shall be specification grade, duplex type, NEMA 5-20R, 20 ampere, 125 volt grounded type. Outlets shall be Hubbell 5362-GRAY with stainless steel coverplates.

C. Special receptacles shall be as indicated on the drawings.

D. Weatherproof receptacle shall be Hubbell WP26 with GF5262 outlet.

E. GFI receptacle shall be Hubbell GF5362.

F. Provide type of faceplates to match devices.

G. Coverplates shall be raised shoulder type design.

H. Dual Technology Motion Sensor: 1800 Watts, 120 Volt AC, digital sensing, manual on switch, single circuit, and ground screw. Hubbell # AD1277 GRAY with stainless steeL coverplates.

2.06 PANELBOARDS:

A. Provide branch circuit panelboards as shown on drawings and as specified herein. Provide tin-plated aluminum bus bars. Multiple pole breakers shall have handle ties so all poles act simultaneously. Main breaker shall be center mounted. Equipment ratings shall exceed available fault current. Provide completed circuit directory under plastic cover in each panel door. Circuit breakers shall be bolt-on type. Balance final loads within 10% of all phases. Mount panels 6'-6" to top.

B. Provide voltage as shown and 50% ground bar in panels.

C. Panelboards shall be Square D.

2.07 LIGHTING FIXTURES:

A. Provide lighting fixtures, switches, and/or controllers. Install and lamp fixtures as indicated on the drawings.

B. Coordinate fixture trim with ceiling in/on which it is being installed.

C. Provide thermal overload protection in fixtures in contact with insulation.

2.08 SAFETY SWITCHES:

A. Safety switches shall be heavy duty type, 600 or 250 volt, with number of poles required.

2.09 FUSES:

A. Fuses shall be Gould Shamut, current limiting Bussmann Low-Peak dual element fuses, LPN-RK, LPS-RK OR LPJ. Fuses shall hold 500% of rated current for a minimum of 10 seconds. Fuses shall be time delay UL class RK1 or J with an interrupting rate of 300,000 amperes RMS symmetrical. Install fuses where called for on plans.

2.10 MOTOR WIRING:

A. Wire all motors to conform with manufacturers recommendations and with applicable codes. Provide necessary material, including wire, conduit, fittings, etc. required to connect motor. Motors, controls, etc. shall be furnished by the supplier of the driven equipment. Verify equipment location and sizes with the trade supplying the motor before installing the conduit or outlets.

2.11 TELEPHONE/DATA SYSTEM:

A. TelephoneData wall outlets shall consist of standard single gang boxes. Connect outlets to telephone and/or data terminals with separate 3/4" conduit unless otherwise shown on drawings. Device coverplates shall match receptacles. Provide fish tape in all conduits.

B. Telephone outlets shall be supplied by the owners telephone system installer.

2.12 GROUNDING:

A. Grounding system as shown on the electrical riser is existing. Connect the new panelboard as indicated.

B. Provide a grounding conductor in all cable and conduits including all switch legs and branch circuits.

C. Provide a grounding lug on all switches and receptacles, and connect to the branch circuit grounding conductor.

2.13 LABELING

A. Provide nameplates to identify panelboards, disconnect switches, starters, and other major equipment.

2.14 GUARANTEE

A. Guarantee all material furnished and all workmanship performed for a period of one year from the date of final acceptance of the work. Any defects developing within this period, traceable to material furnished as part of this Section or workmanship performed hereunder, shall be corrected at no expense to the Owner.

2.15 EXISTING FACILITIES, DEMOLITION AND ALTERATIONS:

A. Fully investigate the site and ascertain all existing utilities and conditions which may effect the execution of this work.

2.16 CONDITIONS PRECEDENT TO FINAL ACCEPTANCE:

A. Upon completion of project, prepare and submit one complete set of electrical record drawing sepia reproducibles and one complete set of prints of "as-built" conditions to the Architect showing all wiring as actually installed. Prints shall also show, as indicated by marked-up notations, all deviations and changes of wiring and circuit number from the original contract drawings.

B. Upon completion of project, prepare and submit to the Architect for final distribution to the Owner, four (4) copies of an Electrical Operation and Maintenance Manual as further described herein. Each manual shall consist of a 3-hole, post-type, hard cover binder with blue color. Cover inscription shall be commercially imprinted with full title of the job, Owner, Architect, Contractor, and year of completion on the front cover and an abbreviated version of the cover inscription shall be included on the binding edge. Submit cover inscription sample for approval. Coordinate with other disciplines so that all manuals are similar in size and appearance. Contents of manual shall consist of final shop drawings of panelboards and electrical equipment; one set of manufacturer's original commercially printed catalog data sheets of lighting fixtures and devices; part lists; safety, maintenance, and operation instructions; and final list of electrical materials installed, listing manufacturer, catalog number, and local supplier of replacement and spare parts for each item. One (1) preliminary copy of manual shall be submitted for review and approval by the Architect 2 weeks prior to substantial completion.

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THE FIRST MOUNTAIN CITY
JASPER GEORGIA
1857

PROJECT INFORMATION

Project Number
16526.00

Client Name
City of Jasper

Project Name
Fire Station Addition

Project Address
277 Burton Street - Jasper, Georgia 30143

PROJECT ISSUE & REVISION SCHEDULE

#	Date	Description

PROFESSIONAL STAMPS

GEORGIA REGISTERED PROFESSIONAL ENGINEER SCOTT W. LINDELOW 6-29-22

SHEET INFORMATION

Issued	Scale
07/01/22	As indicated

Project Status
ISSUED FOR CONSTRUCTION

Drawn By	Checked By
JBL	SWL

Drawing Title
ELECTRICAL SPECIFICATIONS

Drawing Number
E401